

PROPOSED NEW RESIDENCE

Lot 6507, BONNIEBROOK ROAD, BONNIEBROOK, VIC 3335

FOR CONSTRUCTION - ARCHITECTURAL DOCUMENT



GENERAL NOTES

ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH BUILDING ACT 1993, BUILDING REGULATIONS 2018, NCC 2022 AND RELEVANT STANDARDS.

THE BUILDER AND SUBCONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, RELEVANT LEVELS AND DIMENSIONS ON-SITE PRIOR TO COMMENCING ANY BUILDING WORKS OR PREFABRICATION.

ARCHITECTURAL DRAWING SHALL BE READ IN CONJUNCTION WITH ANY STRUCTURAL ENGINEERING COMPUTATIONS OR STRUCTURAL DRAWINGS.

FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS.

BUILDER TO ADHERE TO ALL BUILDING PERMIT CONDITIONS AND PLANNING PERMIT CONDITIONS. PLEASE CONSULT ARCHITECT IF THERE ARE ANY DISCREPANCIES.

ALL MATERIALS & METHODS OF CONSTRUCTION SHALL COMPLY WITH RELEVANT S.A.A CODES, NCC 2022 AND LOCAL COUNCIL BY- LAWS.

DO NOT SCALE DRAWINGS

PROVIDE IMPERVIOUS FLOOR & WALL FINISHES TO ALL WET AREAS IN ACCORDANCE WITH NCC 2022 PART 10.2.1.

CONNECT STORMWATER AND SULLAGE DRAINS INTO LEGAL POINTS OF DISCHARGE , ALL DRAINS SHALL COMPLY WITH LOCAL AUTHORITIES REGULATIONS AND AS3500.3-2018.

PROVIDE 90MM DIA. AGRICULTURAL DRAINS TO THE BASE OF ALL EXCAVATIONS BANKS AND RETAINING WALLS. CONNECT TO STORMWATER VIA SILT PIT.

SMOKE ALARMS TO COMPLY WITH AS3786-2014.
SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH NCC 2022. SMOKE ALARMS MUST BE INTERCONNECTED DIRECTLY TO MAINS POWERS.

REFER TO SOIL REPORT FOR SOIL CLASSIFICATIONS AND FOUNDING DEPTHS. ALL EXPOSED STEEL TO BE HOT DIPPED GALVANISED.

PROVIDE MECHANICAL VENTILATION IN ACCORDANCE WITH NCC 2022 AS REQUIRED. ALL EXHAUST FANS ARE TO DISCHARGE TO THE EXTERIOR OF THE BUILDING.

FOOTINGS
REINFORCED CONCRETE STRIP FOOTINGS & PAD FOOTINGS TO ENGINEERS DESIGN. FOOTING CONSTRUCTION TO COMPLY WITH NCC 2022.

WALL FRAMING
TIMBER WALL FRAMING IS TO COMPLY WITH AS1684.2-2010 "RESIDENTIAL TIMBER FRAMED CONSTRUCTION NON-CYCLONIC AREAS" AND OR AS1684.3-2010 "RESIDENTIAL TIMBER FRAMED CONSTRUCTION CYCLONIC AREAS" AND WITH SUPPLEMENTARY TABLES.

PROVIDE DOUBLE STUD, STUMP & PAD UNDER ALL LOAD POINTS.

ALL STRUCTURAL STEEL IS TO COMPLY WITH AS4100-1998 (R2016).

WALL TIE DOWNS ARE TO BE INSTALLED IN ACCORDANCE WITH NCC 2022 PART 7.3. THE TYPES OF WALL TIES DOWNS MAY BE INCLUSIVE OF METAL STRAPS, BOLTS, SCREWS, COACH SCREWS AND FRAMING ANCHORS.

ALL EXTERNAL STEEL LINTELS ARE TO BE HOT DIPPED GALVANIZED AND THE WALL TIES PROVIDED ARE TO BE STAINLESS STEEL (PART 6.3 OF THE NCC 2022).

MASONRY
ALL MASONARY WORK IS TO COMPLY WITH AS4773-SET:2015 AND NCC 2022.

CONCRETE STRUCTURES
ALL CONCRETE STRUCTURES ARE TO COMPLY WITH AS 3600-2018 AND NCC 2022.

INSULATION
REFER TO ENERGY REPORT FOR INSULATION REQUIREMENTS IN WALLS AND CEILINGS.
PROVIDE SOUND-DAMPENING AND SARKING TO METAL ROOFS: 50 MM THICK FIBERGLASS BLANKETS. SISILATION FLAMMABILITY INDEX NO GREATER THAN 5. SUPPLY AND INSTALL SISILATION

WINDOWS/GLAZING
ALL WINDOWS SHALL CONFORM TO AS2047-2014 AND ALL GLAZING TO AS1288 -2021 & NCC 2022 PART 8.1.

GLAZING WITHIN 2000MM OF THE F.F.L IN BATHROOMS OR ENSUITES IS TO BE GRADE A SAFETY GLASS.

ALL SIZES SHOWN ARE NOMINAL AND SHOULD BE COMPARED TO MANUFACTURERS STANDARD SCHEDULE BEFORE CONSTRUCTION COMMENCES. NON-STANDARD WINDOWS TO HAVE SIZES CHECKED ON SITE PRIOR TO MANUFACTURING. REFER TO ELEVATIONS FOR SASH ARRANGEMENT. ALL WINDOW SIZES & CLEARANCES TO BE CHECKED ON SITE PRIOR TO MANUFACTURING.

GRADE A SAFETY GLASS IS REQUIRED TO ALL GLAZING IN BATHROOMS, ENSUITES, SPA ROOMS, SHOWER DOORS, SHOWER SCREENS, BATH ENCLOSURES, AND ASSOCIATED WINDOWS, WHERE THE LOWEST SIGHT LINE IS LESS THAN 2.0 M ABOVE THE HIGHEST ABUTTING FINISHED LEVEL OF THE FLOOR, BOTTOM OF THE BATH, OR SHOWER BASE

PLEASE NOTE THAT WINDOWS CAPABLE OF BEING MISTAKEN FOR A DOORWAY OR OPENING AND GREATER THEN 500MM IN WIDTH, 1M IN HEIGHT AND WITHIN 700MM OF THE FINISHED FLOOR ARE TO BE PROVIDED WITH A MID-HEIGHT MOTIF WITHIN ITS PANEL IN ACCORDANCE WITH NCC 2022.

TIMBER FRAMING
TIMBER WALL FRAMING IS TO COMPLY WITH AS1684.2-2010 "RESIDENTIAL TIMBER FRAMED CONSTRUCTION NON-CYCLONIC AREAS" AND OR AS1684.3-2010 "RESIDENTIAL TIMBER FRAMED CONSTRUCTION CYCLONIC AREAS" AND WITH SUPPLEMENTARY TABLES. PROVIDE DOUBLE STUD, STUMP & PAD UNDER ALL LOAD POINTS.

WALL BRACING LAYOUT IN CONJUNCTION WITH THE WALL TIE DOWN DETAILS (TOP PLATES TO STUDS) ARE TO COMPLY WITH AS1684-2021. WALL TIE DOWNS (TOP PLATES TO STUDS) ARE TO BE INSTALLED AT MINIMUM 1800 CTRS (EVERY 4TH STUD). THE TYPES OF WALL TIES DOWNS MAY BE INCLUSIVE OF METAL STRAPS, BOLTS, SCREWS, COACH SCREWS AND FRAMING ANCHORS. WALL BRACING NO GREATER THEN 9M APART.

TRUSS/POSISTRUTT
PROVIDE AN ELECTRONIC COPY OF THE ROOF TRUSS/POSISTRUTT MANUFACTURER'S DESIGN AND LAYOUT OF THE BEAMS ARE TO BE SUBMITTED PRIOR TO THE FRAME INSPECTION BEING CARRIED OUT. NOTE: THE FRAME INSPECTION WILL NOT BE CARRIED OUT UNTIL SUCH TIME.

THAT COPY OF FULL TRUSS COMPUTATIONS AND LAYOUT PLANS ARE PROVIDED AND APPROVED BY THE RELEVANT BUILDING SURVEYOR. NOTE DISCS WILL NOT BE ACCEPTED.

CONCRETE:
ALL CONCRETE MATERIAL AND WORKMANSHIP SHALL BE IN ACCORDANCE AS3600-2018 CONCRETE STRUCTURES CODE.

ALL CONCRETE SHALL BE CURED IN ACCORDANCE WITH AS3600- 2018. ALL REINFORCEMENT TO BE LAID AND LAPPED TO MANUFACTURERS SPECIFICATIONS ON APPROVED BAR CHAIRS.

CONCRETE STRENGTH 25MPA (MIN) AT 28 DAYS.

ALL WORKS TO BE IN ACCORDANCE WITH AS2870-2011 - "RESIDENTIAL SLABS AND FOOTING CONSTRUCTION"
OWNERS MUST RECOGNIZE THEIR RESPONSIBILITIES NOTED IN AS 2870-2011 AND MORE DETAIL IN C.S.I.R.O PUBLICATION "GUIDE TO HOMEOWNERS ON FOUNDATION MAINTENANCE AND PERFORMANCE."

ALL EXCAVATIONS SHOULD BE CAREFULLY INSPECTED BY A COMPETENT PERSON AND THIS OFFICE CONTACTED IMMEDIATELY IF CONDITIONS OTHER THAN THOSE DESCRIBED IN THE SOIL REPORT ARE ENCOUNTERED.

CONCRETE SLAB
REINFORCED CONCRETE FLOOR SLAB TO ENGINEERS DESIGN. CONSTRUCTION OF CONCRETE SLAB TO COMPLY WITH NCC 2022 & AS2870.

FLOORING
REINFORCED CONCRETE FLOOR SLAB TO ENGINEERS DESIGN. CONSTRUCTION OF CONCRETE SLAB TO COMPLY WITH NCC 2022 & AS2870.

SUB-FLOOR
SUB-FLOOR VENTILATION IS TO BE INSTALLED AT A MINIMUM OF EVERY 6000MM² PER METER RUN OF WALL IN COMPLIANCE WITH NCC 2022. THE SUB-FLOOR ACCESS DOOR IS TO BE LOCATED IN A READILY ACCESSIBLE POSITION.

ROOFING
TIMBER ROOF FRAMING IS TO COMPLY WITH AS1684.2-2021 "RESIDENTIAL TIMBER FRAMED CONSTRUCTION NON-CYCLONIC AREAS" AND OR AS1684.3-2021 "RESIDENTIAL TIMBER FRAMED CONSTRUCTION CYCLONIC AREAS" AND WITH SUPPLEMENTARY TABLES.

TIMBER ROOF TRUSSES AT 900MM CTS TO MANUFACTURERS SPECIFICATIONS PROVIDE GALV. IRON CROSS BRACING OVER ROOF TRUSSES EXPOSED COLORBOND GUTTERS AND FASCIAS, INSTALLED PER NCC. 2022.

ALL ROOF STORMWATER DRAINAGE SHALL COMPLY WITH AS3500.3-2018 ENSURE ALL SARKING BENEITH TILED ROOFS IS PROVIDED IN ACCORDANCE WITH PART 7.3.OF THE NCC 2022, AND HAS A FLAMMABILITY INDEX OF NOT MORE THEN 5.

STEEL PROTECTION
ALL EXTERNAL STEEL LINTELS ARE TO BE HOT DIPPED GALVANIZED AND THE WALL TIES PROVIDED ARE TO BE STAINLESS STEEL, PLEASE CONFIRM THIS ON PLAN. (PART 6.3 OF THE NCC 2022).

STAIRS
• STAIRS, STEPS & LANDINGS TO COMPLY WITH NCC. 2022.
• RISERS - 115MM MIN, 190MM MAX.
• GOINGS - 240MM MIN 355MM MAX.
• HANDRAIL TO BE 865MM ABOVE NOSING OF TREAD.
• 1000MM HIGH BALUSTRADING & 865 ABOVE STAIR NOSING
• 125MM MAXIMUM BETWEEN BALUSTERS
• PROVIDE 2000MM MIN HEAD ROOM CLEARANCE FROM TREAD NOSING
• MAX 3 RISERS OR 570MM WITHOUT A LANDING TO DOOR OPENING.
• SLOPE RELATIONSHIP 2R + G 550MIN - 700MAXTHE MAXIMUM GAP BETWEEN RISERS IN OPEN STAIRS IS 125MM WHERE THE STAIR IS IN EXCESS OF 1000MM ABOVE THE ADJACENT FLOOR LEVEL.
• ALL TREADS ARE TO HAVE A NON-SLIP FINISH OR A NON-SLIP STRIP IS TO BE PROVIDED TO THE NOSING.

HANDRAILS
A HANDRAIL IS TO BE PROVIDED ALONG AT LEAST ONE SIDE OF THE INTERNAL STAIRS.
THE TOP SURFACE OF THE HANDRAIL IS TO BE NOT LESS THAN 865MM VERTICALLY ABOVE THE NOSINGS OF THE STAIR TREADS AND HAVE NO OBSTRUCTION ON OR ABOVE.

DRAINAGE
ALL EXISTING UNDERGROUND SERVICES ARE TO BE LOCATED PRIOR TO EXCAVATION FOR NEW PIPES LINES AND NO EXISTING SERVICE SHALL BE DISCONNECTED OR DISTURBED WITHOUT APPROVAL FROM ENGINEER.

STORM-WATER DRAINS SHALL BE 100MM DIAMETER AT A GRADE OF 1:100 UNLESS NOTED OTHERWISE.

ALL PIPE JUNCTIONS SHALL BE WITH A 45 DEGREE JOINT.

ALL U-PVC PIPES SHALL CONFORM TO AS1260-2009 "PVC-U PIPES AND FITTINGS FOR DRAIN, WASTE AND VENT APPLICATION"

THE SITE SHOULD BE DRAINED SO THAT THE WATER CANNOT POND AGAINST OR NEAR THE BUILDING. THE GROUND IMMEDIATELY ADJACENT TO THE BUILDING SHOULD BE GRADED TO FALL 50MM OVER THE FIRST METER. WHERE THIS IS IMPRACTICABLE (I.E. SEVERAL SLOPING SITES) USE AGGIE DRAINS ADJACENT TO THE FOOTINGS WHERE THE GROUND FALLS TOWARDS THE BUILDING.

SURFACE DRAINAGE
THE GROUND BENEATH SUSPENDED FLOORS MUST BE GRADED SO THAT THE AREA BENEATH THE BUILDING IS ABOVE THE ADJACENT EXTERNAL FINISHED GROUND LEVEL AND SURFACE WATER IS PREVENTED FROM PONDING UNDER THE BUILDING.

TERMITE TREATMENT
SITE TO BE TREATED AGAINST SUBTERRANEAN TERMITES IN ACCORDANCE WITH AS3660.1 TO LOCAL AUTHORITIES SATISFACTION AS3660.1 TERMITE MANAGEMENT REQUIRES A MINIMUM OF 400MM CLEARANCE FROM GROUND LEVEL TO THE UNDERSIDE OF THE BEARER (THIS CAN BE REDUCED TO 200MM ON A SLOPING SITE)

MECHANICAL VENTS
ANY CONTAMINATED AIR FROM A SANITARY COMPARTMENT OR BATHROOM MUST A.EXHAUST DIRECTLY TO OUTSIDE THE BUILDING BY WAY OF DUCTS; OR B.EXHAUST INTO THE ROOF SPACE PROVIDED-
(I) IT IS ADEQUATELY VENTILATED THAT COMPLIES WITH NCC 2022
(II) THE ROOF IS CLAD IN ROOFING TILES WITHOUT SARKING OR SIMILAR MATERIALS WHICH WOULD PREVENT VENTING THROUGH GAPS BETWEEN TILES

EXHAUST FAN DISCHARGE RATES TO BE
A. SANTITARY COMPARTMENTS AND BATHROOMS - 25l/s
B. KITCHEN AND LAUNDRY - 40l/s

DOWNPIPES
100X50 OR 90MM DIAMETER DOWNPIPES ARE REQUIRED TO BE PROVIDED AT 12 METER MAXIMUM SPACING.

MINIMUM BOX GUTTER DIMENSIONS SHALL BE 200MM WIDE X 100MM DEEP.

ALL DOWNPIPES ARE TO BE CONNECTED TO THE APPROVED POINT OF DISCHARGE TO THE SATISFACTION OF THE RELEVANT BUILDING SURVEYOR.

WASTE PIPE LAGGING
PROVIDE SOUND ABSORBING INSULATION AROUND ALL WASTE PIPES FROM FIRST FLOOR WET AREAS (BATHROOMS/ENSUITES/LAUNDRY)

TOILET DOORS
TOILET DOORS ARE TO BE FITTED WITH REMOVABLE HINGES, OR ARE TO SWING OUT, OR BE SLIDING WHERE THE HINGE IS WITHIN 1200MM OF THE PAN.

WEEPHOLES
OPEN PERPENDICULAR JOINTS 'WEEPHOLES' MUST BE PROVIDED ABOVE ALL OPENINGS OVER 1200MM WIDE AND 1200MM CTRS IMMEDIATELY ABOVE THE DPC.

WET AREAS
TO COMPLY WITH NCC 2022 10.2.

PLIABLE BUILDING MEMBRANE
PLIABLE BUILDING MEMBRANE TO BE PROVIDED IN ACCORANCE WITH NCC 2022 AND TO BE LOCATED ON THE EXTERIOR SIDE OF THE PRIMARY INSULATION LAYER OF WALL ASSEMBLIES THAT FORM THE EXTERNAL ENVELOPE.

ALL PLIABLE BUILDING MEMBRANES SHALL COMPLY WITH AS4200.1 AND INSTALLED IN ACCORDANCE WITH AS4200.2.

BUSHFIRE ATTACK LEVEL
CLASSIFICATION = TO BE DETERMINED BY REGISTERED BUILDING SURVEYOR IF REQUIRED.

FLASHING
ALL FLASHING TO BE INSTALLED IN ACCORDANCE WITH AS/NZS 2904-1995 AND COMPLY WITH THE BCA.

ARTICULATION JOINTS
ARTICULATION JOINTS ARE TO COMPLY WITH PART 5.2.5 OF THE NCC 2022 (MINIMUM EVERY 5M CENTRES).

LOGS FOR PILES OR PIERS
UPON COMPLETION, PROVIDE A COMPLETE COPY OF THE RECORDS FOR THE PILE/PIER DRIVING OPERATIONS.

LIGHTING
MAINS ELECTRICITY SUPPLY, TELSTRA AND OTHERS TO BE LOCATED IN ACCORDANCE WITH THE RESPONSIBLE AUTHORITIES REQUIREMENTS. ALL ELECTRICAL SWITCHES AND POINTS SHALL BE INSTALLED IN ACCORDANCE WITH AS3000-2018, NCC AND ELECTRICAL AUTHORITIES REQUIREMENTS. PROVIDE SAFETY SWITCHES (RCD) TO ALL LIGHTING AND POWER POINT CIRCUITS.

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7	FOR CONSTRUCTION	17/05/2025

CLIENT SIGN OFF:
I / WE CONFIRM THAT THESE DRAWINGS ACCORD WITH OUR REQUIREMENTS AND AUTHORISE THEIR USE FOR NEXT STAGE PURPOSES.

SIGNED.....DATE.....

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PROJECT:
PROPOSED NEW RESIDENCE

ADDRESS:
Lot 6507, BONNIEBROOK ROAD, BONNIEBROOK, VIC 3335

Client Details: Lawrence Gilbert Makoona & Marie
 Tracy Lo Shun Shing

DRAWING:
GENERAL NOTES & DRAWING SCHEDULE
SCALE:

@A3

JOB NUMBER: DATE:
08206 17/05/2025



DRAWING NUMBER:
A0002

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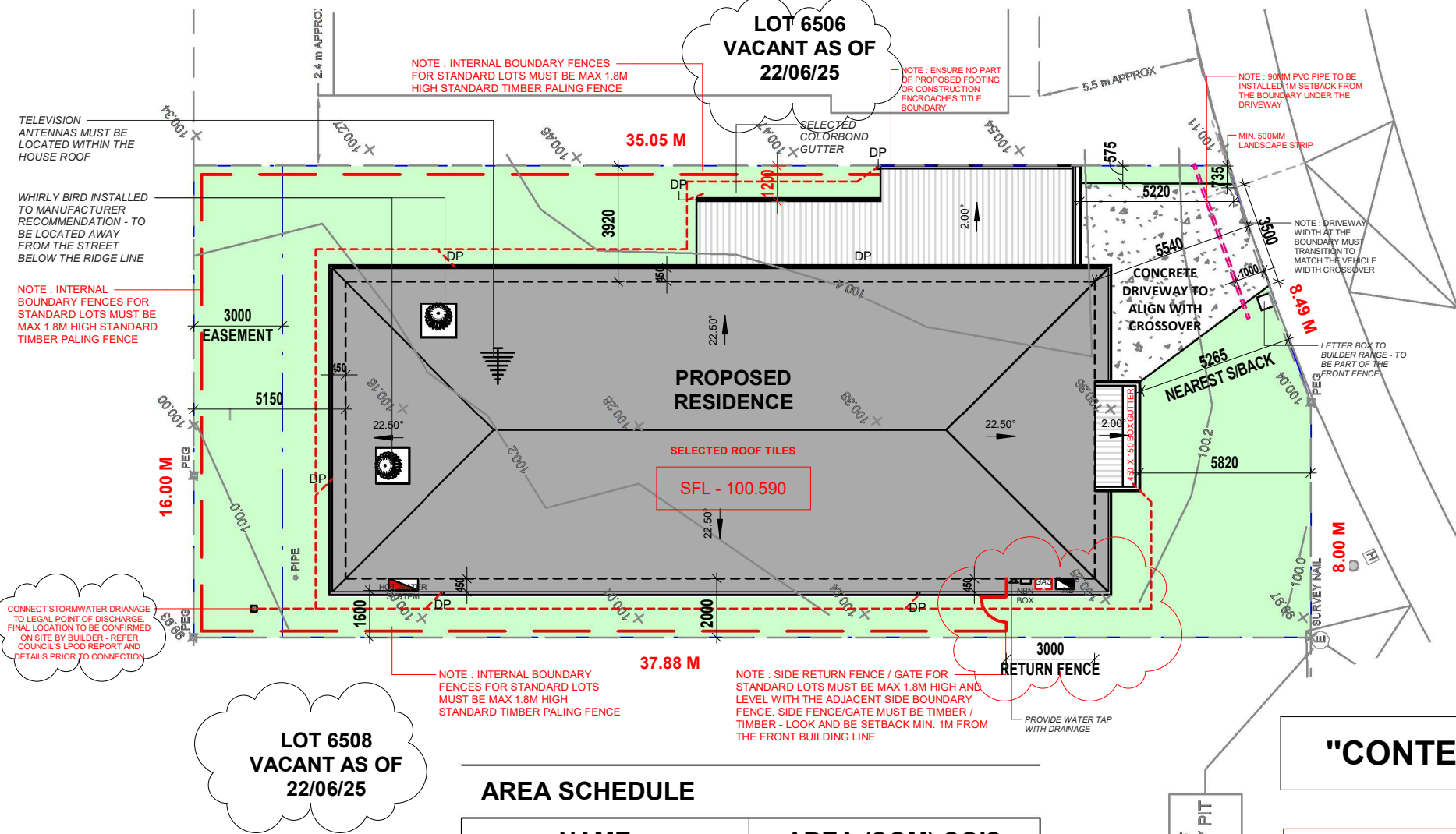
- STORM WATER AND SEWER TO BE CONNECTED TO LEGAL POINT OF DISCHARGE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS DOWNPIPES (DP) TO APPROX. LOCATION MAX 12M CRTS. CONNECTED TO S/WATER SYS. IN ACCORDANCE WITH LOCAL COUNCIL REQUIREMENTS. ALL S/WATER DRAINS THAT PASS UNDER CONC. SLABS AND TRAFFICABLE AREAS TO BE LAID IN HEAVY DUTY SEWER PIPE.
- BUILDER TO PROVIDE AGI DRAIN TO BASE OF BATTERS / RETAINING WALLS & WHERE EVER DEEMED NECESSARY. PROVIDE SILT PITS TO BASE OF BATTER, CONNECTED TO S/WATER SYSTEM. TYPICAL.
- PROVIDE CUT - OFF (AGI) DRAIN AS REQUIRED TO BASE OF ANY EXCAVATION AND CONNECT INTO STORM WATER VIA SILT PITS.
- PROPERTY LAYOUT IS BASED UPON INFORMATION PROVIDED BY BUILDER OR OWNER AND THEREFORE ALL DIMENSIONS, OFFSETS AND DETAILS MUST BE VERIFIED ONSITE PRIOR TO COMMENCING ANY SETOUTS AND OR BUILDING WORKS.
- LEVELS MUST BE VERIFIED ON SITE TO DETERMINE DEPTH OF EXCAVATIONS AND AFFECTED WALL HEIGHTS PRIOR TO COMMENCING ANY BUILDING WORK.
- PROVIDE TERMITE PROTECTION TREATMENT TO SITE IN ACCORDANCE WITH AS3660.1 AS PER LOCAL AUTHORITY PROPERTY ASSESSMENT.

- BUILDER AND CONTRACTORS ARE TO CHECK AND VERIFY ALL PLANS AND DRAWINGS PRIOR TO COMMENCING CONSTRUCTION. ANY DISCREPANCIES ON THE DRAWINGS MUST BE REPORTED TO THE RELEVANT BUILDING DESIGNER IMMEDIATELY PRIOR TO COMMENCING CONSTRUCTION
- BUILDER TO ENSURE NO PART OF CONSTRUCTION ENCLOSES TITLE BOUNDARIES OR EASEMENT LINES U.N.O.
- REFER TO ENG'S DETAILS AND SOIL REPORT FOR REQUIREMENTS IN FOOTINGS & BUILDING OVER REMOVED OR RETAINED TREES FOR THIS SITE OR ADJACENT

- BUILDER TO CONFIRM LOCATION OF ALL EXTERNAL ASSETS PRIOR TO COMMENCING CONSTRUCTION. RELOCATION MAY BE REQUIRED.

TERMITE PROTECTION MEASURES TO BE IN ACCORDANCE WITH NCC 2022 AND IN CONJUNCTION WITH AS3660.1.

- STRUCTURAL SLABS ON GROUND USED AS PART OF TERMITE BARRIER SYSTEMS MUST BE CONSTRUCTED IN ACCORDANCE WITH AS2870 AND GROUND IS TO BE PRE-TREATED WITH TERMITE SPRAY.
- THE EDGE OF ANY SLAB ON GROUND MAY BE USED AS A PERIMETER BARRIER PROVIDED 75mm OR MORE ABOVE GROUND IS LEFT EXPOSED.
- GROUND BENEATH NON-STRUCTURAL SLABS TO BE PRETREATED WITH TERMITE SPRAY.
- PENETRATIONS OF SLABS OR SLAB BEAMS TO BE PROTECTED.
- ALL ATTACHMENTS TO BUILDINGS SUCH AS DOWNPIPES MUST MAINTAIN A CLEAR GAP TO ALLOW FOR VISUAL INSPECTION.
- SLAB EDGE TO BE TERMITE TREATED ANNUALLY FOR LIFE OF STRUCTURE.



NOTE: LOW EMISSION PAINTS AND SEALANTS ARE TO BE GREATER THAN 95% OF INTERNAL AND EXTERNAL PAINTED SURFACES.

THE BUILDER MUST COMPLETE ALL FIBRE CABLE ENTRY WORK IN ACCORDANCE WITH NBN GUIDELINES.

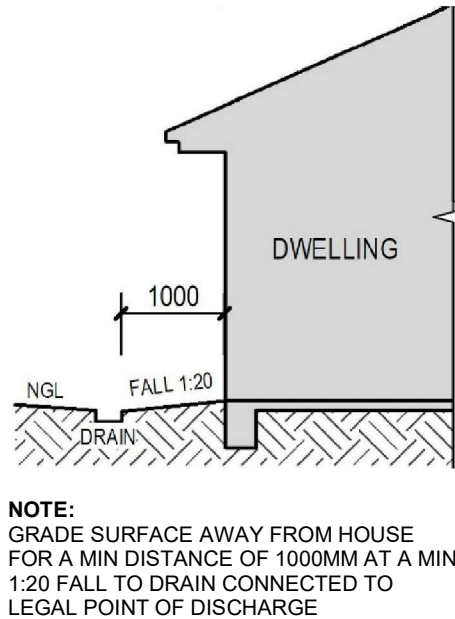
NOTE: LANDSCAPE PLAN AS PER DEVELOPERS SPECIFICATION AND DESIGN GUIDELINES

**NOTE: REFER ENERGY RATING
REPORT FOR INSULATION VALUES**

NOTE: CLIENT SELECTS DEVELOPER'S LANDSCAPE PACKAGE

AREA SCHEDULE	
NAME	AREA (SQM) SQ'S
PORCH	5.51 SQM
GARAGE	54.13 SQM
GROUND FLOOR	213.03 SQM
ALFRESCO 1	12.35 SQM
ALFRESCO 2	17.74 SQM
GF TOTAL	302.76 SQM
FIRST FLOOR	261.63 SQM
TOTAL	564.39 SQM (60.7 SQ)
SITE AREA	594 SQM
SITE COVERAGE	50.9%
POS	98.14 SQM
SPOS	82.40 SQM
PERMEABILITY	257.80 SQM (43.4%)

IMPERMEABLE AREA SCHEDULE	
NAME	AREA (SQM)
FRONT GARDEN AREA	76.76 SQM (69.7%)
DRIVEWAY	33.29 SQM (30.3%)
TOTAL	110.05 SQM (100%)



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CLIENT SIGN OFF:

I / WE CONFIRM THAT THESE DRAWINGS
ACCORD WITH OUR REQUIREMENTS AND
AUTHORISE THEIR USE FOR NEXT STAGE
PURPOSES.

SIGNED.....DATE.....

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PROJECT:
PROPOSED NEW RESIDENCE

ADDRESS:
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Client Details: Lawrence Gilbert Makoona & Marie
 Tracy Lo Shun Shing

DRAWING:
SITE PLAN

SCALE:
As indicated

JOB NUMBER:
08206

@A3
DATE:
17/05/2025

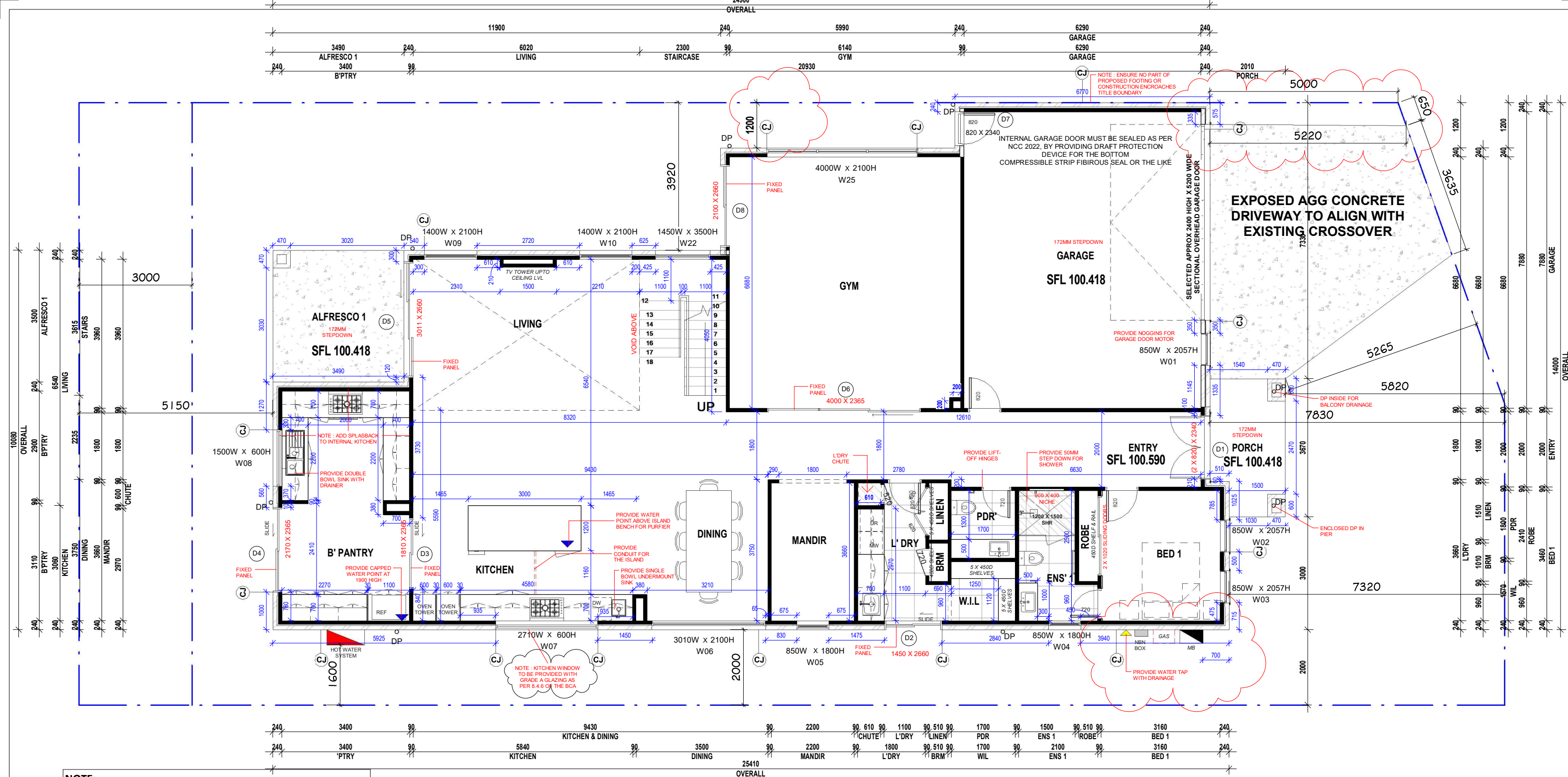


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A0100

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+ FOR
CONSTRUCTION



NOTE:
ALL EXHAUST FANS TO DISCHARGE DIRECTLY TO OUTSIDE AIR AND NOT INTO ROOF SPACE. MECHANICAL EXHAUST FANS ARE TO PROVIDE A MIN 25L PER SECOND FOR BATHROOMS & SANITARY COMPARTMENTS & MIN 40L/S FOR RANGEHOODS

- PROVIDE LIFT-OFF HINGES TO ALL SWING DOORS IN SANITARY COMPARTMENTS AS PER NCC 2022
- ALL WATERPROOFING MEMBRANES FOR EXTERNAL ABOVE GROUND USE MUST COMPLY WITH AS4654; PARTS 1 & 2
- PROVIDE GRADE 'A' SAFETY GLAZING TO ALL BATHROOMS AND TOILETS AS PER NCC 2022
- PROVIDE TILED SHOWER RECESS TO BATH AND ENSUITE SHOWERS (REFER TO INTERNALS)
- PROVIDE ALUMINIUM FRAMED FIBRE-GLASS MESH FLYSCREENS TO ALL OPENABLE WINDOWS
- PROVIDE NOGGING FOR TOWEL RAIL, TOILET ROLL HOLDER & TV BRACKET

NOTE:
EXHAUST SYSTEMS TO THE BATHROOMS, SANITARY FACILITIES, LAUNDRY, AND KITCHEN ARE REQUIRED TO BE DUCTED TO OUTDOOR AIR IN ACCORDANCE WITH PART 10.8.2 OF THE

NOTE:
PROVIDE 2340MM HIGH INTERNAL DOORS THROUGHOUT GROUND FLOOR.
PROVIDE 2340MM HIGH INTERNAL DOORS THROUGHOUT FIRST FLOOR.
DOOR STYLE IS TO BE SELECTED BY CLIENT.

CONSTRUCTION TO BE IN ACCORDANCE WITH AS3500

ALL PLUMBING WORKS TO COMPLY WITH AS3500
ALL GLAZING TO BE IN ACCORDANCE WITH AS1288 & AS2047
INTERNAL WATERPROOFING TO COMPLY WITH AS3740

KIARA
DESIGNS

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Client Details:

Lawrence Gilbert Makoona & Marie Tracy Lo Shun Shing

DRAWING:

GROUND FLOOR PLAN

SCALE:

1 : 100

JOB NUMBER:

08206

@A3

DATE:

17/05/2025



DRAWING NUMBER:

A1000

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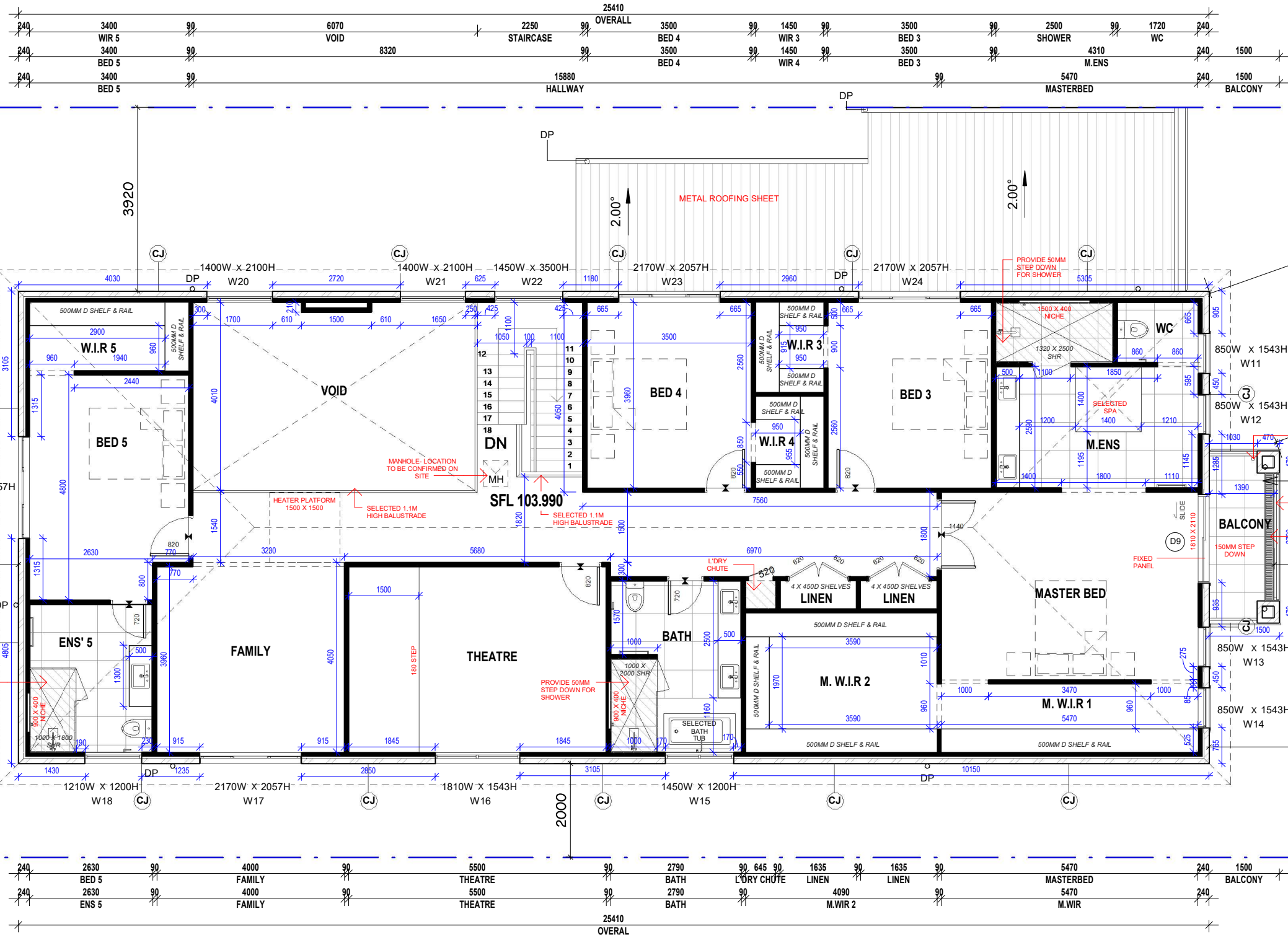
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- PROVIDE GRADE 'A' SAFETY GLAZING TO ALL BATHROOMS AND TOILETS AS PER NCC 2022
- PROVIDE TILED SHOWER RECESS TO BATH AND ENSUITE SHOWERS (REFER TO INTERNALS)
- PROVIDE ALUMINIUM FRAMED FIBRE-GLASS MESH FLYSCREENS TO ALL OPENABLE WINDOWS
- PROVIDE NOGGING FOR TOWEL RAIL, TOILET ROLL HOLDER & TV BRACKET

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PROVIDE 2340MM HIGH INTERNAL DOORS THROUGHOUT FIRST FLOOR.
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CONSTRUCTION TO BE IN ACCORDANCE WITH AS3500

ALL PLUMBING WORKS TO COMPLY WITH AS3500
ALL GLAZING TO BE IN ACCORDANCE WITH AS1288 & AS2047
INTERNAL WATERPROOFING TO COMPLY WITH AS3740

KIARA
DESIGNS

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7	FOR CONSTRUCTION	17/05/2025

CLIENT SIGN OFF:

I / WE CONFIRM THAT THESE DRAWINGS ACCORD WITH OUR REQUIREMENTS AND AUTHORISE THEIR USE FOR NEXT STAGE PURPOSES.

SIGNED.....DATE.....

SIGNED.....DATE.....

PROJECT:

PROPOSED NEW RESIDENCE

ADDRESS:

Lot 6507, BONNIEBROOK ROAD, BONNIEBROOK, VIC 3335

Client Details:

Lawrence Gilbert Makoona & Marie
Tracy Lo Shun Shing

DRAWING:

FIRST FLOOR PLAN

SCALE:

1 : 100

JOB NUMBER:
08206

@A3

DATE:
17/05/2025



DRAWING NUMBER:

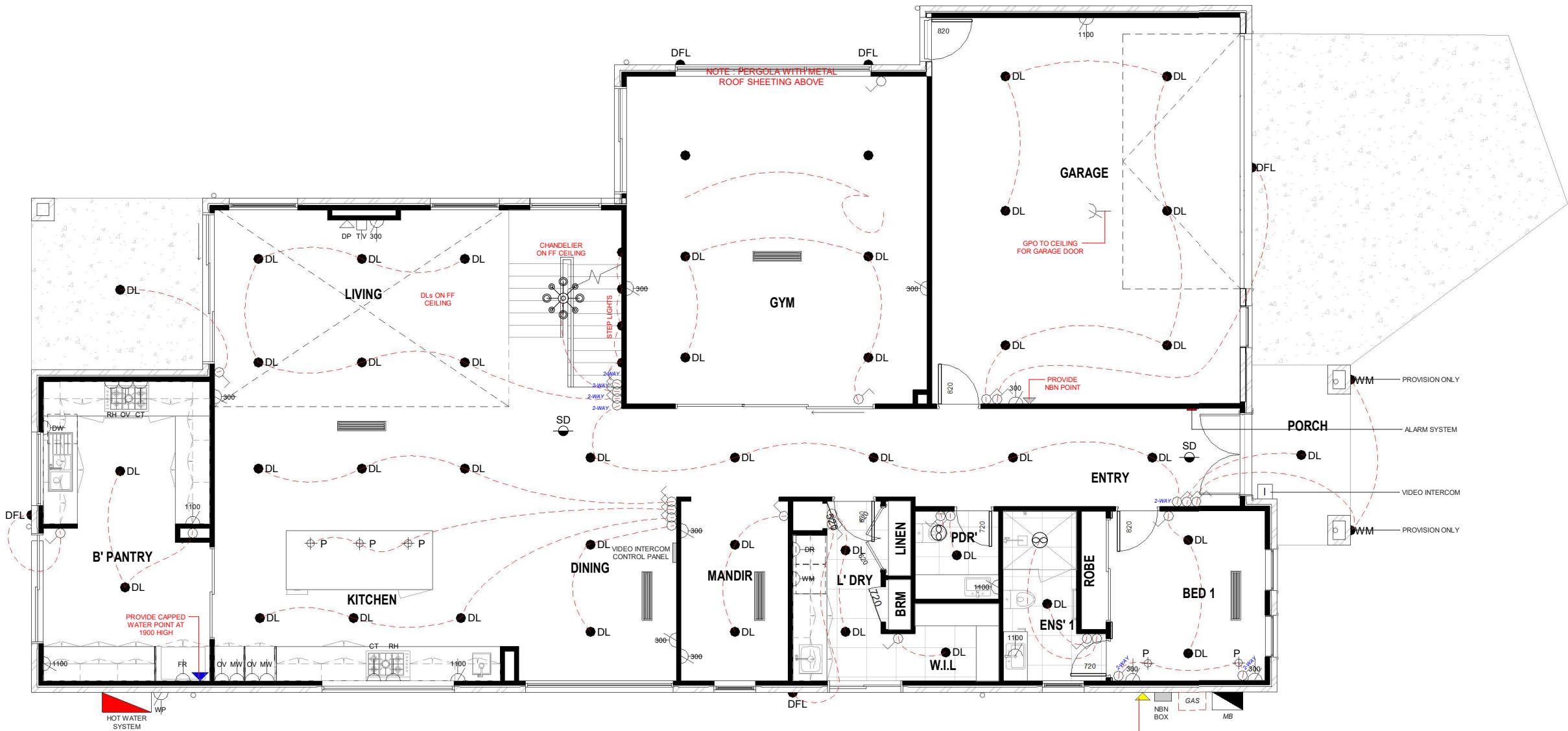
A1001

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FOR
CONSTRUCTION



36 DOWNLIGHTS (85)

NOTE : ELECTRICAL FITTINGS AND FIXTURES - CLIENT TO CONFIRM LOCATION DURING COLOUR SELECTION

- NOTES:
- T.V ANTENNA AND WIRING TO AERIAL POINTS AS SHOWN
 - WHERE LAMPS ARE USED THAT HAVE A TRANSFORMER OR BALLAST, THE TRANSFORMER BALLAST MUST BE OF ELECTRICAL TYPE
 - OUTDOOR LIGHTING MUST BE CONTROLLED BY A DAY SENSOR OR HAVE AT LEAST 40 LUMENS/W
 - CONTRACTOR TO VERIFY LOCATION OF ALL POINTS ON SITE PRIOR TO FINAL INSTALLATION
 - GPO'S TV POINT & DATA POINTS TO BE LOCATED TO SUIT FOR WALL MOUNTED TV (NOM 1200MM)
 - TO "WC" PROVIDE MECHANICAL VENTILATION DUCTED TO EXTERNAL AIR
 - HARD WIRED SMOKE ALARM WITH BATTERY BACK-UP TO AS3786-2014. ALL SMOKE ALARMS WITHIN DWELLING TO BE INTERCONNECTED TO EACH OTHER

	DOUBLE GENERAL POWER OUTLET. XXX DENOTES HEIGHT IN mm AFL
	GPO FOR REFRIGERATOR
	GPO FOR OVEN
	GPO FOR WASHING MACHINE
	GPO FOR RANGEHOOD
	GPO FOR DISHWASHER
	GPO FOR MICROWAVE
	GPO FOR DRYER
	SWITCH POINT ALL LIGHT SWITCHES TO BE INSTALLED 1200 AFL UNLESS OTHERWISE INDICATED
	TWO WAY SWITCHING
	SMOKE DETECTOR HARDWIRED LOCATIONS TO THE APPROVAL OF BUILDING SURVEYOR
	WEATHERPROOF GPO
	DOWNLIGHT MINIMUM REQUIREMENTS: LV or LED RECESSED CIRCULAR GIMBLE DOWNLIGHT
	SELECTED PENDANT LIGHT (PROVISION ONLY)
	BATTEN HOLDER
	TELEPHONE POINT
	DATA POINT
	T.V.
	WALL MOUNTED SCENCE (PROVISION ONLY)
	ELECTRICAL DISTRIBUTION/ SWITCH BOARD
	VIDEO INTERCOM PANEL
	EXHAUST FAN
	FLUORESCENT LIGHT
	NBN POINT
	WALL LIGHT
	DOUBLE FLOOD LIGHT
	LINEAR GRILL VENTS
	CHANDLIER



NO:	DESCRIPTION	DATE
1	PRELIMINARY	14/11/2024
2	PRELIMINARY - R2	25/02/2025
3	PRELIMINARY - R3	27/02/2025
4	DEVELOPER APPROVAL	28/03/2025
5	DEVELOPER APPROVAL - R2	21/04/2025
6	DEVELOPER APPROVAL - R3	02/05/2025
7	FOR CONSTRUCTION	17/05/2025

CLIENT SIGN OFF:
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SIGNED.....DATE.....

PROJECT:
PROPOSED NEW RESIDENCE

ADDRESS:
Lot 6507, BONNIEBROOK ROAD, BONNIEBROOK, VIC 3335

Client Details: Lawrence Gilbert Makoona & Marie Tracy Lo Shun Shing

DRAWING:
ELECTRICAL PLAN

SCALE:
1 : 100

JOB NUMBER:
08206

@A3
DATE:
17/05/2025

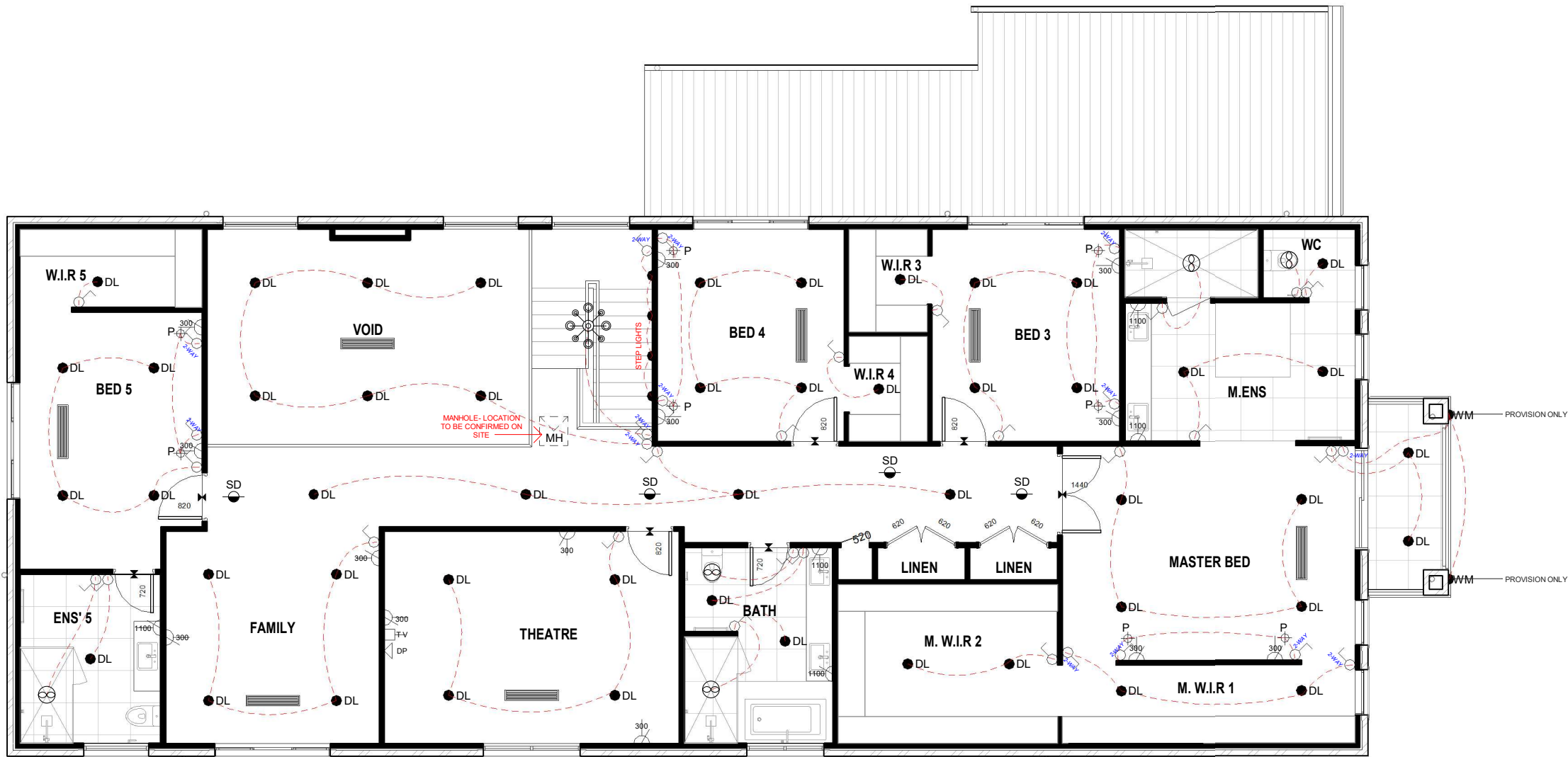


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A1002

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49 DOWNLIGHTS (85)

NOTE : ELECTRICAL FITTINGS AND FIXTURES - CLIENT TO CONFIRM LOCATION DURING COLOUR SELECTION

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 - TO "WC" PROVIDE MECHANICAL VENTILATION DUCTED TO EXTERNAL AIR
 - HARD WIRED SMOKE ALARM WITH BATTERY BACK-UP TO AS3786-2014. ALL SMOKE ALARMS WITHIN DWELLING TO BE INTERCONNECTED TO EACH OTHER

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	GPO FOR REFRIGERATOR
	GPO FOR OVEN
	GPO FOR WASHING MACHINE
	GPO FOR RANGEHOOD
	GPO FOR DISHWASHER
	GPO FOR MICROWAVE
	GPO FOR DRYER
	SWITCH POINT ALL LIGHT SWITCHES TO BE INSTALLED 1200 AFL UNLESS OTHERWISE INDICATED
	TWO WAY SWITCHING
	SMOKE DETECTOR HARDWIRED LOCATIONS TO THE APPROVAL OF BUILDING SURVEYOR
	WEATHERPROOF GPO
	DOWNLIGHT MINIMUM REQUIREMENTS: LV or LED RECESSED CIRCULAR GIMBLE DOWNLIGHT
	SELECTED PENDANT LIGHT (PROVISION ONLY)
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	TELEPHONE POINT
	DATA POINT
	T.V.
	WALL MOUNTED SCENCE (PROVISION ONLY)
	ELECTRICAL DISTRIBUTION/ SWITCH BOARD
	VIDEO INTERCOM PANEL
	EXHAUST FAN
	FLUORESCENT LIGHT
	NBN POINT
	WALL LIGHT
	DOUBLE FLOOD LIGHT
	LINEAR GRILL VENTS
	CHANDLIER

KIARA
DESIGNS

NO:	DESCRIPTION	DATE
1	PRELIMINARY	14/11/2024
2	PRELIMINARY - R2	25/02/2025
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6	DEVELOPER APPROVAL - R3	02/05/2025
7	FOR CONSTRUCTION	17/05/2025

CLIENT SIGN OFF:
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AUTHORISE THEIR USE FOR NEXT STAGE
PURPOSES.
SIGNED.....DATE.....
SIGNED.....DATE.....

PROJECT:
PROPOSED NEW RESIDENCE

ADDRESS:
Lot 6507, BONNIEBROOK ROAD, BONNIEBROOK, VIC 3335
Client Details: Lawrence Gilbert Makoona & Marie
Tracy Lo Shun Shing

DRAWING:
ELECTRICAL PLAN

SCALE:
1 : 100
JOB NUMBER:
08206
@A3
DATE:
17/05/2025

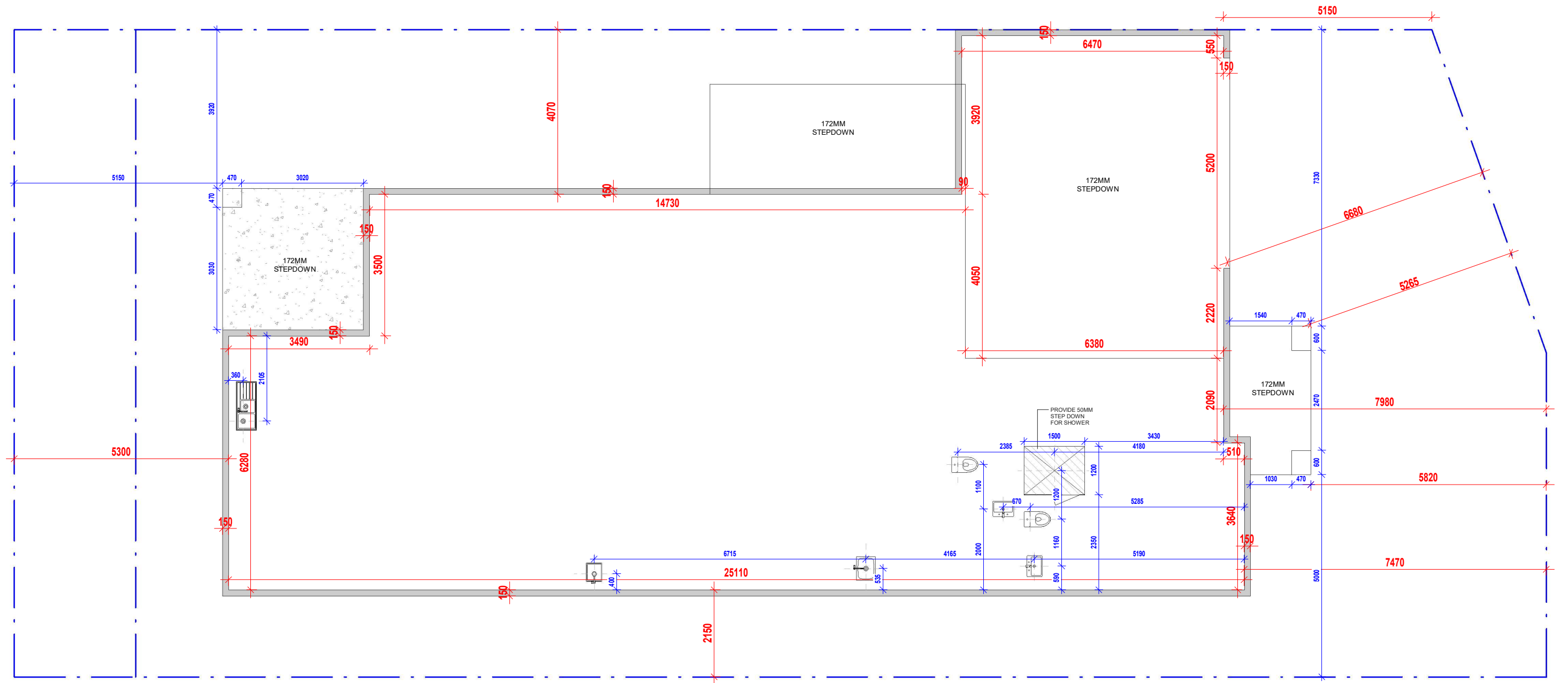


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**FOR
CONSTRUCTION**



NOTE - THIS DRAWING IS ONLY FOR INFORMATION AND NOT TO USE FOR CONSTRUCTION - CONTRACTOR MUST VERIFY ALL DIMENSIONS IN CONJUNCTION WITH OTHER DRAWINGS NOT LIMITED TO FLOOR PLANS & JOINERY DRAWINGS ON SITE PRIOR TO SETOUT AND POUR THE CONCRETE SLAB.

NO:	DESCRIPTION	DATE
1	PRELIMINARY	14/11/2024
2	PRELIMINARY - R2	25/02/2025
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SIGNED.....DATE.....

PROJECT:

PROPOSED NEW RESIDENCE

ADDRESS:

Lot 6507, BONNIEBROOK ROAD, BONNIEBROOK, VIC 3335

Client Details:

Lawrence Gilbert Makoona & Marie
Tracy Lo Shun Shing

DRAWING:

SLAB SETOUT PLAN

SCALE:

1 : 100

JOB NUMBER:

08206

@A3

DATE:

17/05/2025



DRAWING NUMBER:

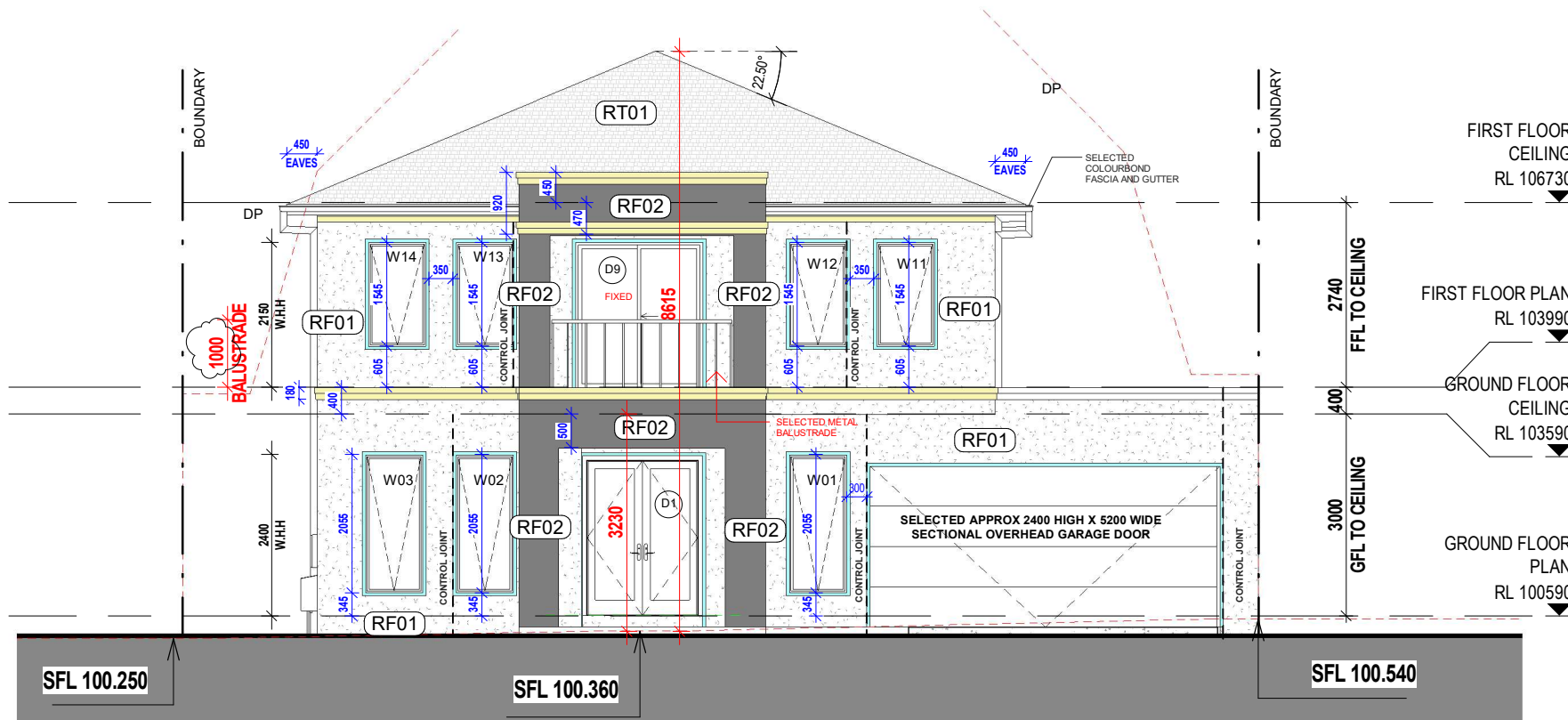
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FOR
CONSTRUCTION



SOUTH ELEVATION
SCALE: 1 : 100

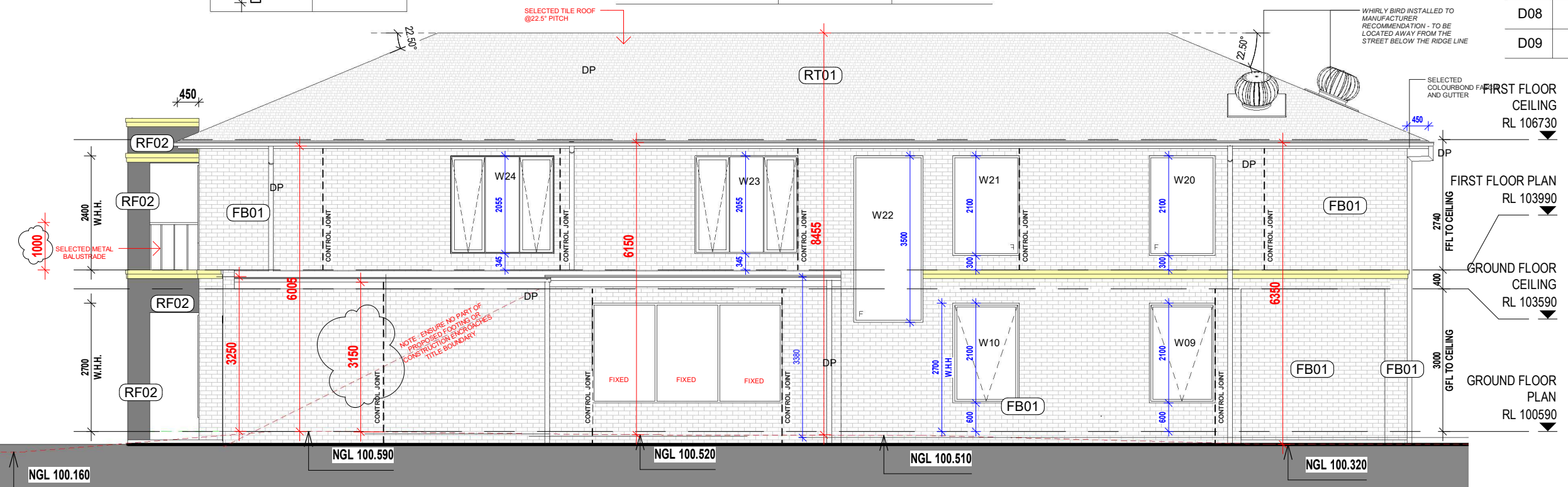
WALL MOULDING FB113: 40(W) X 180(H)mm	WINDOW MOULDING FB100: 20(W) X 50(H)mm

FRONT FACADE MATERIALS TABLE		
	SQM	%
RENDERED / PAINTED FINISH (RF01)	29.35	74.5%
RENDERED / PAINTED FINISH (RF02)	10.02	25.5%
FACADE AREA -TOTAL	39.37	100%

WINDOW SCHEDULE			
NO.	WIDTH	HEIGHT	TYPE
W01	850	2057	AWNING
W02	850	2057	AWNING
W03	850	2057	FIXED
W04	850	1800	AWNING
W05	850	1800	AWNING
W06	3010	2100	AW / FIXED
W07	2710	600	FIXED
W08	1500	600	FIXED
W09	1400	2100	AW / FIXED
W10	1400	2100	AW / FIXED
W11	850	1543	AWNING
W12	850	1543	AWNING
W13	850	1543	AWNING
W14	850	1543	AWNING
W15	1450	1200	AWNING (OBS)
W16	1810	1543	AW / FIXED
W17	2170	2057	AW / FIXED
W18	1210	1200	AWNING (OBS)
W19	2170	2057	AW / FIXED
W20	1400	2100	FIXED
W21	1400	2100	FIXED
W22	1450	3500	FIXED
W23	2170	2057	AW / FIXED
W24	2170	2057	AW / FIXED
W25	4000	2100	FIXED

- GENERAL ELEVATION NOTES**
- WALLS ON OR WITHIN 200MM OF BOUNDARIES TO COMPLY WITH RESCODE CLAUSE 54 A.11-13. MAX HEIGHT OF 3.6M & A MAX AVG. HEIGHT OF 3.20M. MIN 1.00M LIGHT COURT TO NEIGHBOURS HABITABLE WINDOW SHALL BE PROVIDED. NO PART OF BUILDING TO ENCROACH BOUNDARY.
 - FIRE SEPARATION OF BUILDINGS ON BOUNDARY IN ACCORDANCE WITH NCC 2022.
 - RETAINING WALLS TO BE CONSTRUCTED IMMEDIATELY AFTER EXCAVATION. ALLOW 5KPa SURCHARGE ON BOUNDARY U.N.O. RETAINING WALLS TO BE CONSTRUCTED & PROTECTION NOTICE SERVED IN ACCORDANCE WITH BUILDING ACT 1993. OWNER/CONTRACTOR IS TO PROVIDE INSURANCE, SURVEY OF EXISTING CONDITIONS & NEIGHBOUR'S CONSENT FOR CONSTRUCTION IN ACCORDANCE WITH ACT. BATTERS ARE AT 45° & THATCHED OR LANDSCAPED U.N.O. CUT OFF DRAINS AT BASE OF EXCAVATION TO CONNECT TO STORM WATER DRAINS VIA SILT PIT WITH GRATED COVER.
 - PROVIDE WEEPHOLES TO BASE OF ALL BRICK VENEER WALLS & ABOVE EXTERNAL BRICK VENEER WALL OPENINGS AT EVERY 4th PERPEND. PROVIDE SUITABLE CONTINUOUS CAVITY FLASHING.
 - ON PLAN & ELEVATION DENOTES ARTICULATION JOINTS. THESE SHALL BE PLACED AT MAX. 5.0m CTS IN STRAIGHT WALL LENGTHS OR AS SPECIFIED BY THE SOIL REPORT MAXIMUM 3.0m FROM CORNERS BUT NO CLOSER THAN 600mm. THEY MUST BE FULL HEIGHT OF WALL AND PLACED BESIDE WINDOWS AND DOORS WHERE POSSIBLE. CONSTRUCTION METHOD OR CHANGE OF LOCATION MUST BE APPROVED BY THE DESIGNER OR THE OWNERS. WHERE A ARTICULATION LAYOUT HAS BEEN PROVIDED BY A STRUCTURAL ENGINEER, THAT SHALL TAKE PRECEDENCE OVER ARCHITECTURAL DOCUMENTS. WHERE ARTICULATION JOINTS ARE LOCATED TO THE SIDE OF AN OPENING SUFFICIENT CLEARANCE MUST BE PROVIDED TO THE WINDOW / DOOR OPENING TO ALLOW FOR MOVEMENT.

DOOR SCHEDULE				
NO	WIDTH	HEIGHT	FRAME	TYPE
D01	2 X 820	2340	TIMBER	HINGED / DOUBLE
D02	1450	2660	ALUMINIUM	SLIDING
D03	2170	2365	ALUMINIUM	SLIDING
D04	2170	2365	ALUMINIUM	SLIDING
D05	3011	2660	ALUMINIUM	SLIDING
D06	4000	2365	ALUMINIUM	INTERNAL SLIDING
D07	820	2340	TIMBER	HINGED
D08	2100	2660	ALUMINIUM	SLIDING
D09	1810	2110	ALUMINIUM	SLIDING



EAST ELEVATION
SCALE: 1 : 100

NOTE: FIRST FLOOR WINDOWS ARE TO BE RESTRICTED TO OPEN LESS THAN 125MM WHERE THE SILL LEVEL IS LESS THAN 1.7M ABOVE FINISHED FLOOR LEVEL OF THE ROOM

NOTE: ALL SELECTED EXTERNAL MOULDINGS AND TRIMS FIXED ACCORDING TO MANUFACTURER'S SPECIFICATION

PART 5 - REGULATION 80			
TOTAL AREA	=	21.66 SQM	
21.66 SQM	/	6.77 M	= 3.20 M
AVG. WALL HEIGHT	=	3.20 M	



NO:	DESCRIPTION	DATE
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5	DEVELOPER APPROVAL - R2	21/04/2025
6	DEVELOPER APPROVAL - R3	02/05/2025
7	FOR CONSTRUCTION	17/05/2025

CLIENT SIGN OFF:
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SIGNED.....DATE.....

SIGNED.....DATE.....

PROJECT:
PROPOSED NEW RESIDENCE

ADDRESS:
Lot 6507, BONNIEBROOK ROAD, BONNIEBROOK, VIC 3335


Client Details:
Lawrence Gilbert Makoona & Marie Tracy Lo Shun Shing

DRAWING:
ELEVATIONS

SCALE:
As indicated

JOB NUMBER:
08206

@A3
DATE:
17/05/2025

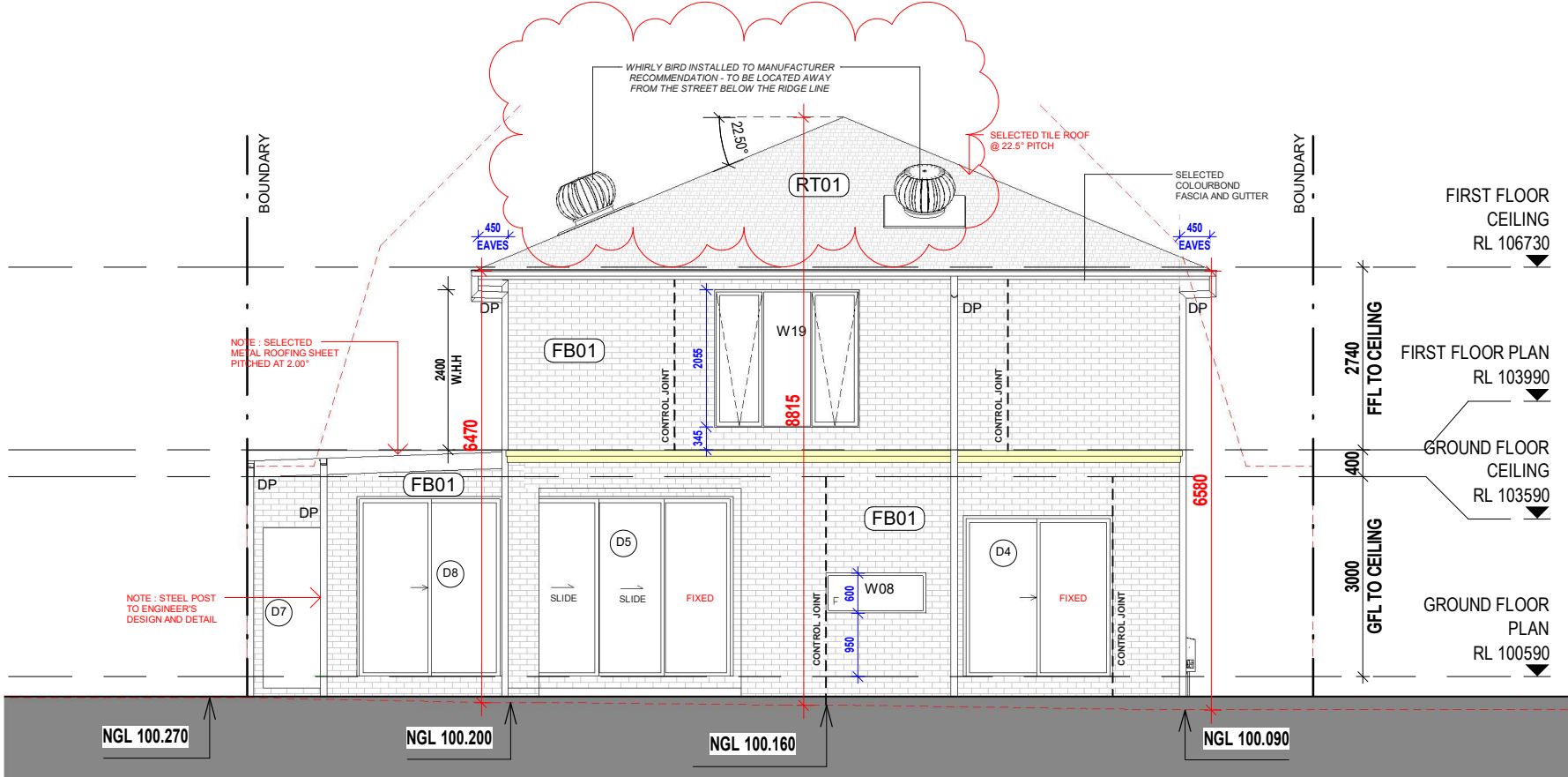


DRAWING NUMBER:
A2000

CHECKED BY: AR **DRAWN BY:** RGM

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NORTH ELEVATION
SCALE: 1 : 100

NOTE: ALL SELECTED EXTERNAL MOULDINGS AND TRIMS FIXED ACCORDING TO MANUFACTURER'S SPECIFICATION

NOTE: FIRST FLOOR WINDOWS ARE TO BE RESTRICTED TO OPEN LESS THAN 125MM WHERE THE SILL LEVEL IS LESS THAN 1.7M ABOVE FINISHED FLOOR LEVEL OF THE ROOM

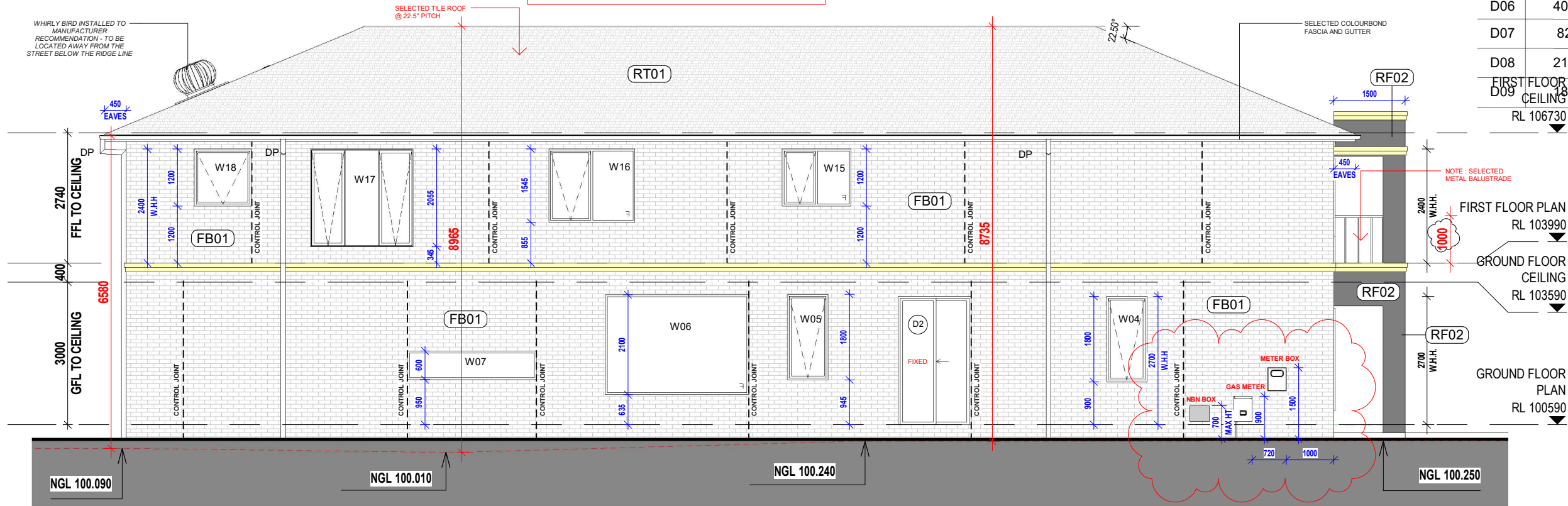
WINDOW SCHEDULE			
NO.	WIDTH	HEIGHT	TYPE
W01	850	2057	AWNING
W02	850	2057	AWNING
W03	850	2057	FIXED
W04	850	1800	AWNING
W05	850	1800	AWNING
W06	3010	2100	AW / FIXED
W07	2710	600	FIXED
W08	1500	600	FIXED
W09	1400	2100	AW / FIXED
W10	1400	2100	AW / FIXED
W11	850	1543	AWNING
W12	850	1543	AWNING
W13	850	1543	AWNING
W14	850	1543	AWNING
W15	1450	1200	AWNING (OBS)
W16	1810	1543	AW / FIXED
W17	2170	2057	AW / FIXED
W18	1210	1200	AWNING (OBS)
W19	2170	2057	AW / FIXED
W20	1400	2100	FIXED
W21	1400	2100	FIXED
W22	1450	3500	FIXED
W23	2170	2057	AW / FIXED
W24	2170	2057	AW / FIXED
W25	4000	2100	FIXED

GENERAL ELEVATION NOTES

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D06	4000	2365	ALUMINIUM	INTERNAL SLIDING
D07	820	2340	TIMBER	HINGED
D08	2100	2660	ALUMINIUM	SLIDING
D09	2110	2110	ALUMINIUM	SLIDING



WEST ELEVATION
SCALE: 1 : 100

KIARA
DESIGNS

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SIGNED.....DATE.....

PROJECT:

PROPOSED NEW RESIDENCE

ADDRESS:

Lot 6507, BONNIEBROOK ROAD, BONNIEBROOK, VIC 3335

Client Details:

Lawrence Gilbert Makoona & Marie Tracy Lo Shun Shing

DRAWING:

ELEVATIONS

SCALE:

As indicated

JOB NUMBER:
08206

@A3

DATE:
17/05/2025



DRAWING NUMBER:

A2001

CHECKED BY:

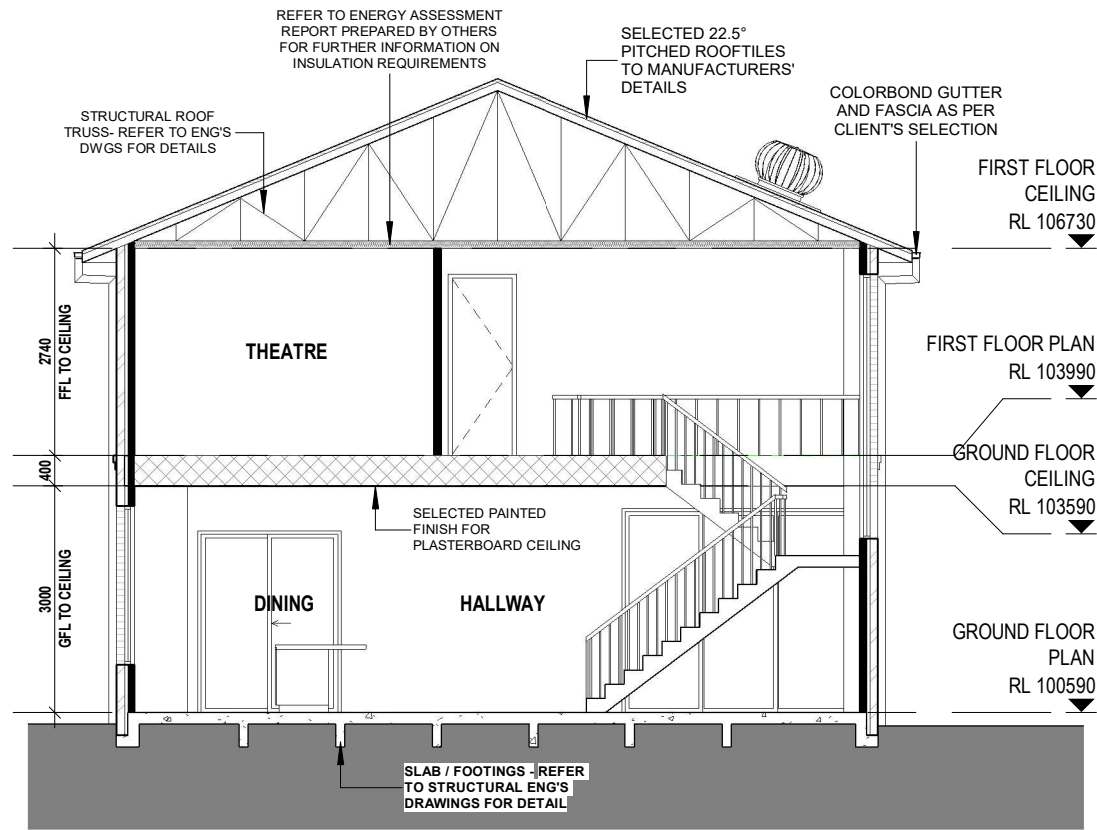
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FOR
CONSTRUCTION



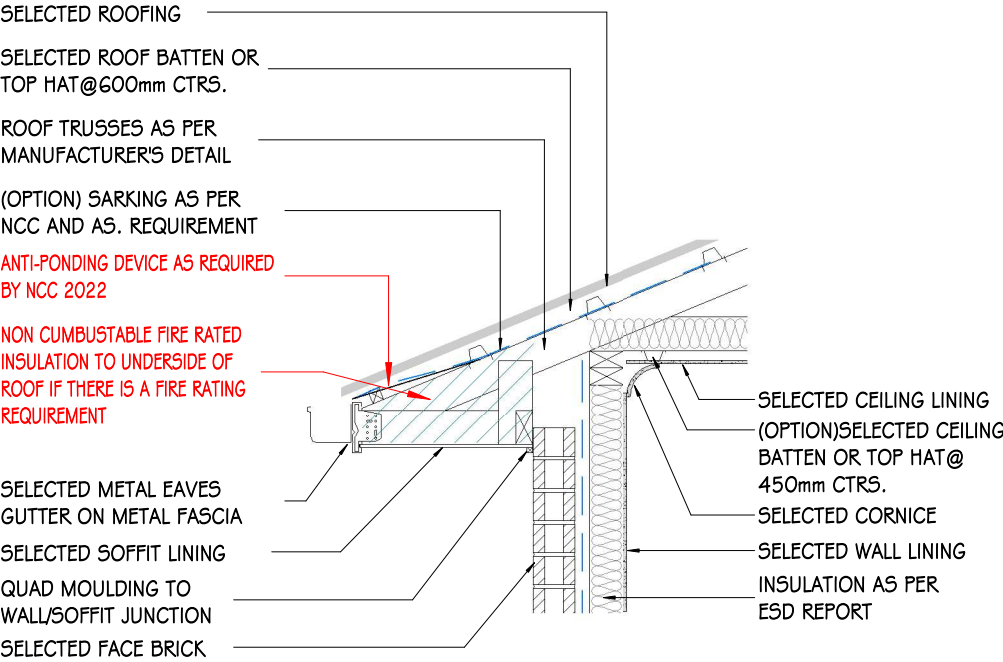
SECTION

SCALE: 1 : 100

- NOTES:**
- **VAPOUR PERMEABLE MEMBRANE** MUST BE INSTALLED ON THE EXTERIOR SIDE OF THE PRIMARY INSULATION LAYER OF WALL ASSEMBLIES THAT FORM THE EXTERNAL ENVELOPE OF BUILDING IN ACCORDANCE WITH NCC 2022.
 - **ARTICULATION JOINTS** TO FOLLOW DOWN THE SIDE OF WINDOWS.
 - **WEEP HOLES** TO BE 150MM FROM NATURAL GROUND LEVEL AND TO GRADE AWAY FOR 1M.
 - **ROOF TILES** MUST OVERHANG THE FASCIA OR TILING BATTEN BY NOT LESS THAN 35mm IN ACCORDANCE WITH 3.5.2.4 NCC 2022.

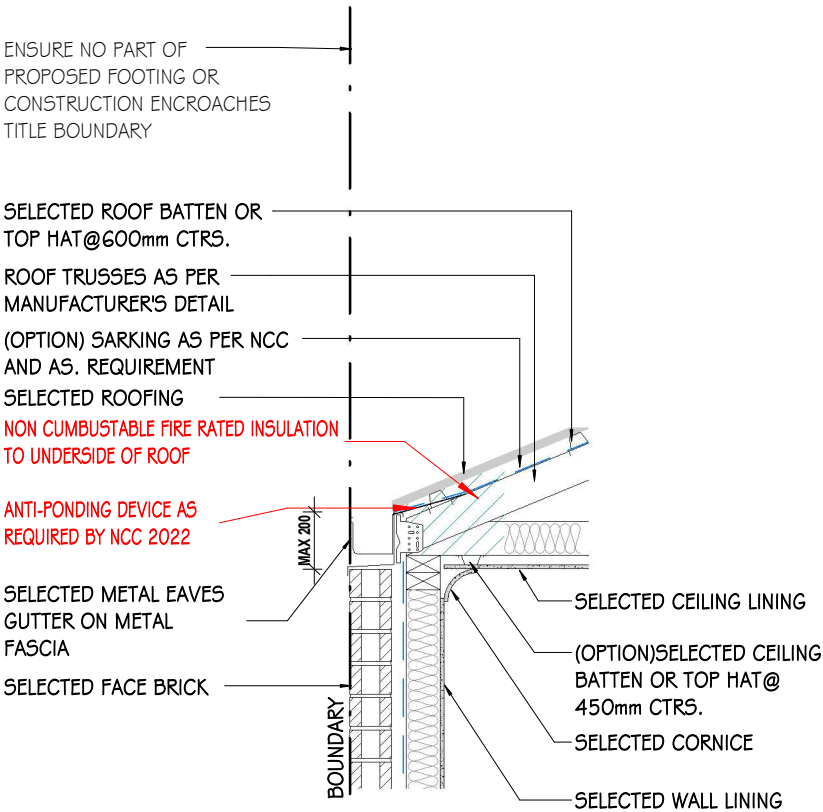
FLASHING:
THE FOLLOWING FOR FLASHING REQUIREMENTS:
A) ROOF TILE FLASHING SHALL BE IN ACCORDANCE WITH PART NCC 2022.
B) FLASHINGS TO WALL OPENINGS SHALL BE IN ACCORDANCE WITH PART NCC 2022.

EXHAUST FAN NOTES:
EXHAUST FAN DISCHARGE RATES:
A) SANITARY COMPARTMENTS AND BATHROOMS: 25I/S
B) KITCHEN AND LAUNDRY : 40I/S.
C) FLOW RATE AND DISCHARGE OF EXHAUST SYSTEMS IN ACCORDANCE WITH NCC 2022.



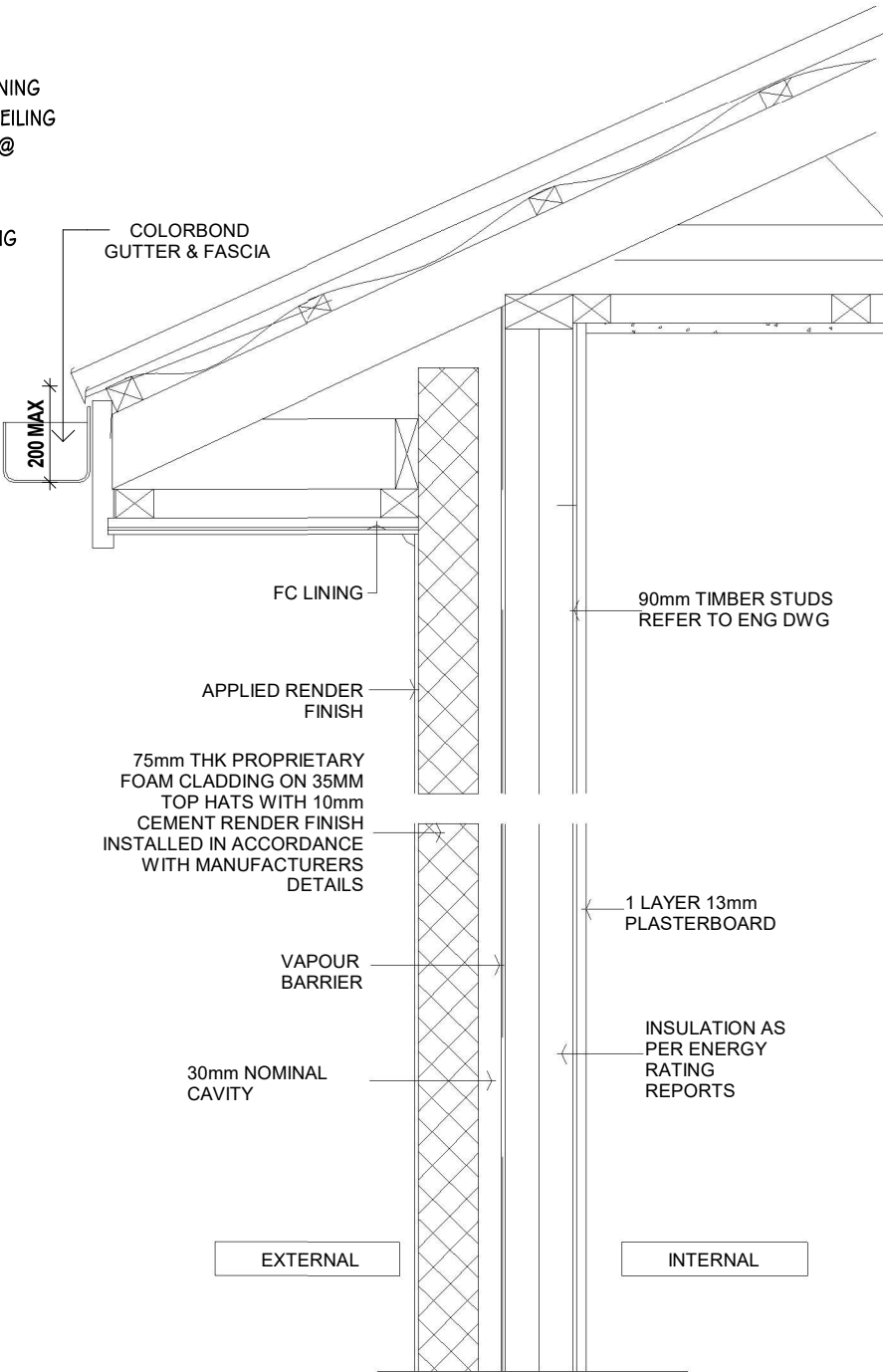
TYPICAL EAVE DETAIL

SCALE: 1 : 20



TYPICAL EAVE DETAIL BUILT ON BOUNDARY

SCALE: 1 : 20



EXTERNAL LIGHTWEIGHT WALL DETAIL

SCALE: 1 : 10

NO:	DESCRIPTION	DATE
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PROPOSED NEW RESIDENCE

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Lot 6507, BONNIEBROOK ROAD, BONNIEBROOK, VIC 3335

Client Details: Lawrence Gilbert Makoona & Marie Tracy Lo Shun Shing

DRAWING:
SECTION

SCALE:
As indicated

JOB NUMBER:
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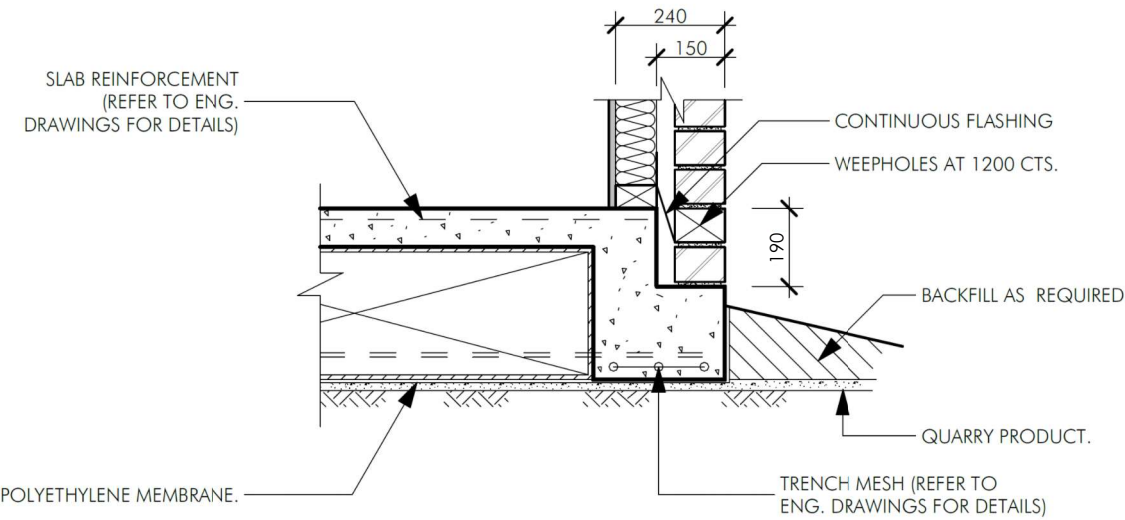
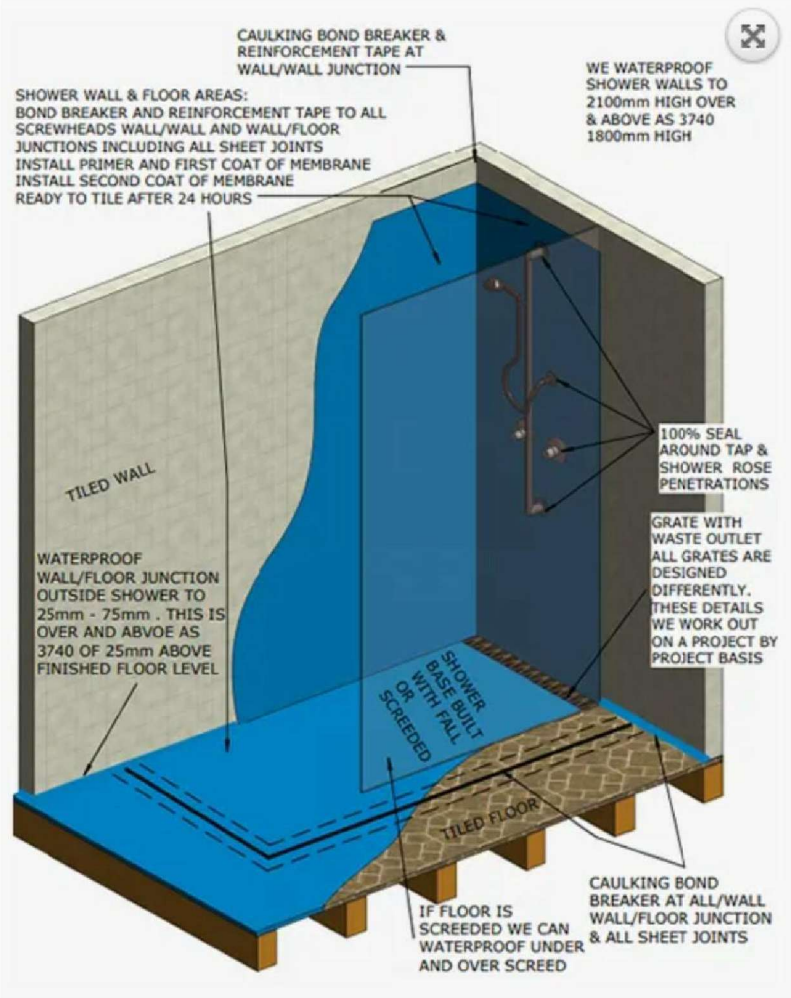
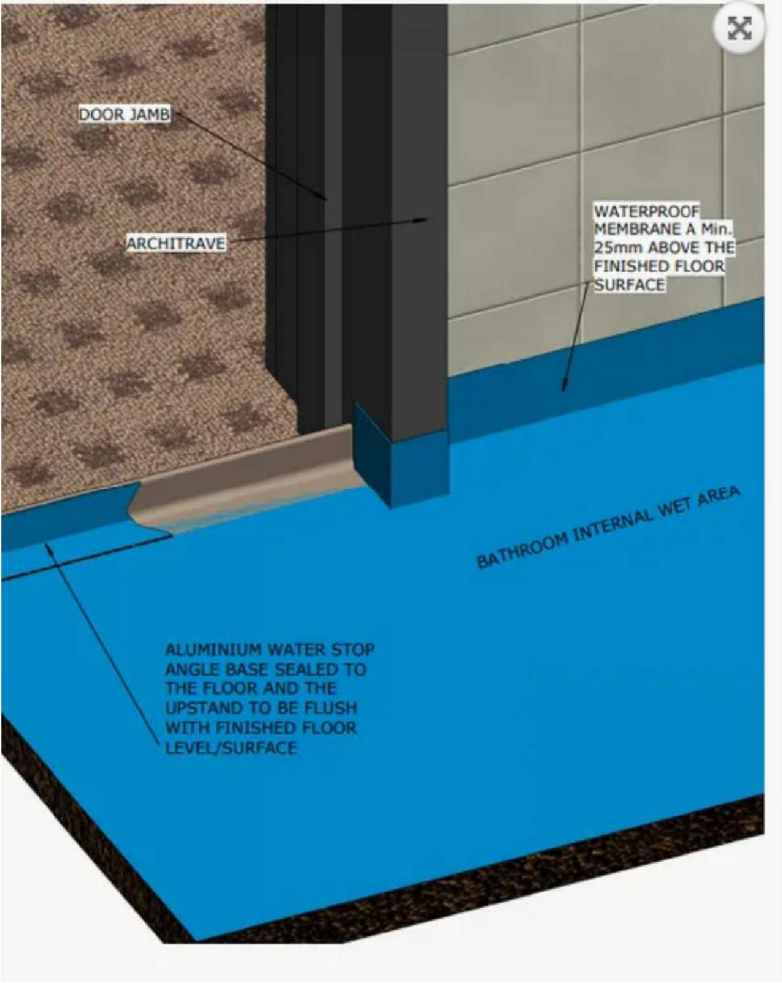
@A3
DATE:
17/05/2025



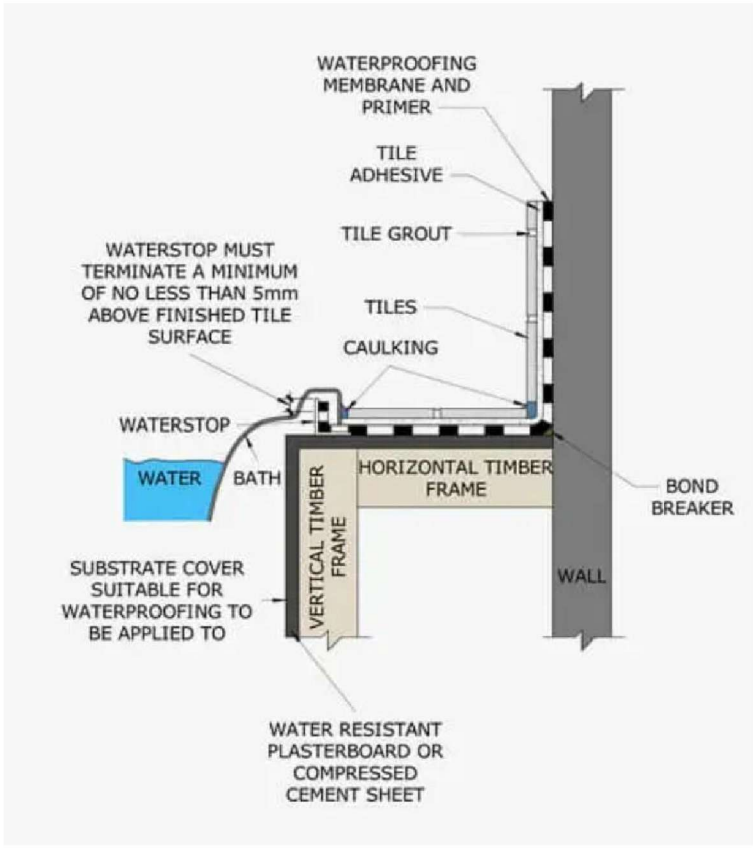
DRAWING NUMBER:
A3000

CHECKED BY: AR
DRAWN BY: RS

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SLAB REBATE DETAIL



NO:	DESCRIPTION	DATE
1	PRELIMINARY	14/11/2024
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6	DEVELOPER APPROVAL - R3	02/05/2025
7	FOR CONSTRUCTION	17/05/2025

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PURPOSES.
SIGNED.....DATE.....
SIGNED.....DATE.....

PROJECT:
PROPOSED NEW RESIDENCE

ADDRESS:
Lot 6507, BONNIEBROOK ROAD, BONNIEBROOK, VIC 3335

Client Details: Lawrence Gilbert Makoon & Marie
 Tracy Lo Shun Shing

DRAWING:
TYPICAL DETAIL

SCALE:
1 : 15

JOB NUMBER:
08206

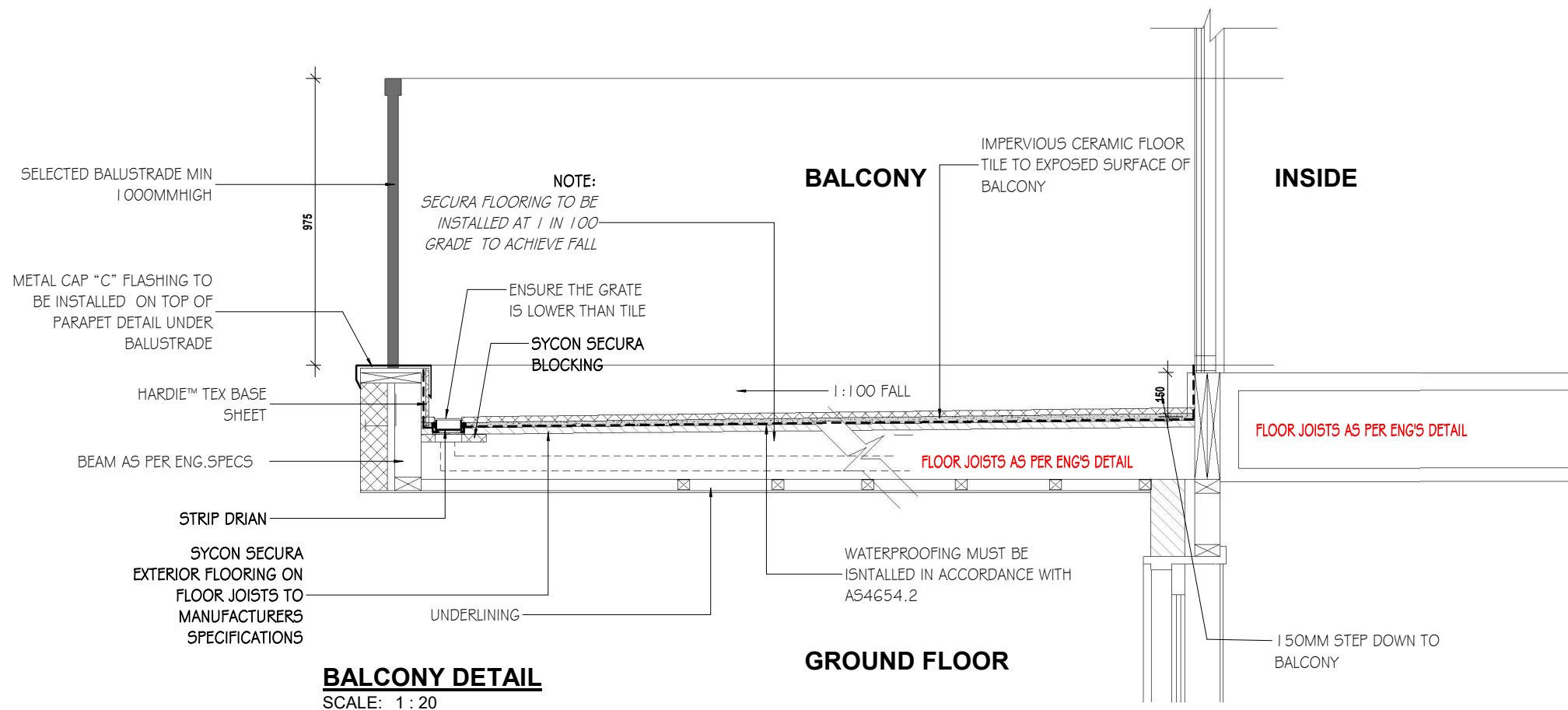


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DATE:
17/05/2025

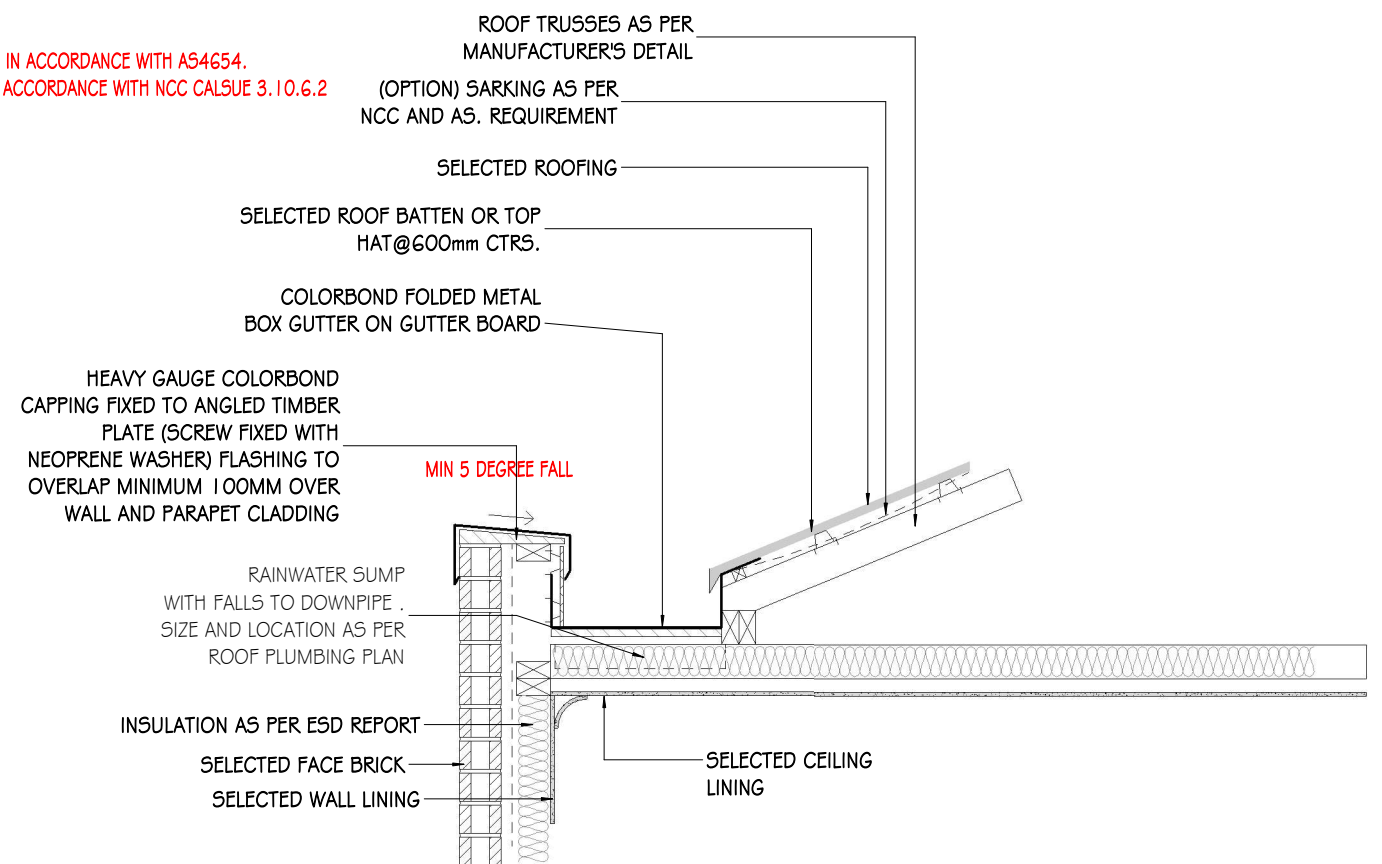
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NOTE:
BALCONY CONSTRUCTED IN ACCORDANCE WITH AS4654.
CONNECTION DETAILS IN ACCORDANCE WITH NCC CLASS 3.10.6.2



TYPICAL BOX GUTTER DETAIL
SCALE: 1 : 20

KIARA
DESIGNS

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Tracy Lo Shun Shing

DRAWING:

TYPICAL DETAIL

SCALE:

1 : 20

JOB NUMBER:
08206

@A3

DATE:
17/05/2025



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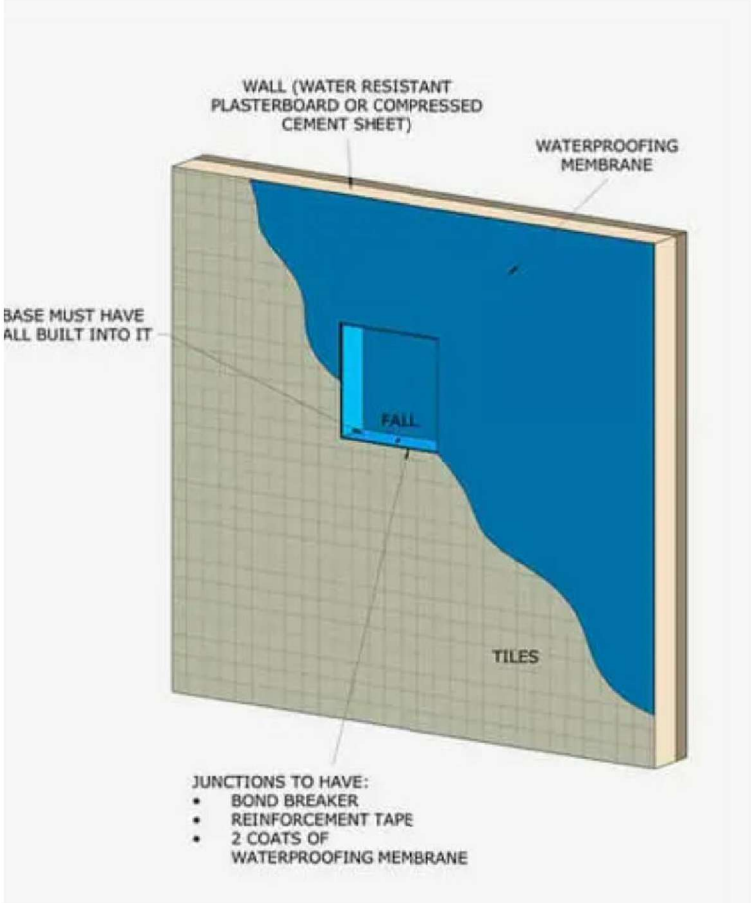
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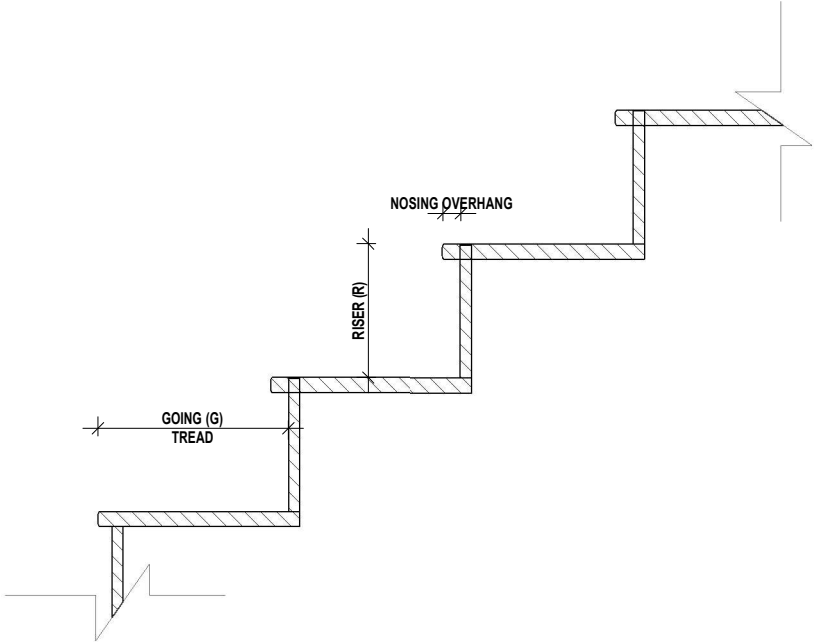
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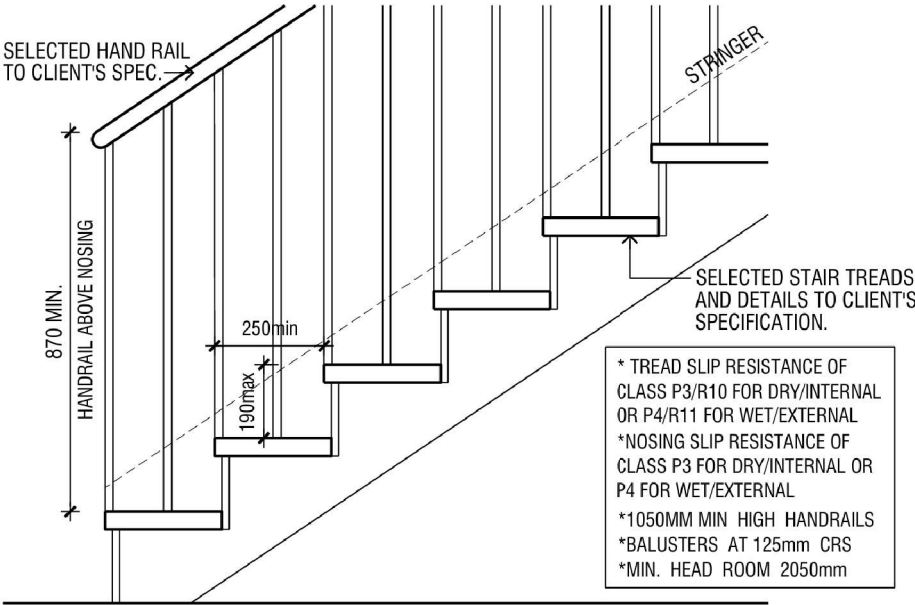
**FOR
CONSTRUCTION**



SHOWER NICHE DETAIL



STAIR RISER / GOING DETAIL
SCALE: 1 : 10



TYPICAL STAIR ELEVATION DETAIL
SCALE 1:20

STAIR CONSTRUCTION TO COMPLY WITH
N.CC 2022

STAIR NOTES:

GOING (G) - 240MIN. - 355MAX.
RISER (R) - 115MIN. - 190MAX.
SLOPE RELATIONSHIP (2R+G)
550MIN. - 700MAX.

SLIP RESISTANCE NOTE:

TREADS MUST HAVE A SURFACE WITH A SLIP-RESISTANCE CLASSIFICATION NOT LESS THAN P3 OR R 10 IN DRY SURFACE CONDITIONS OR P4 OR R11 IN WET CONDITIONS; OR A NOSING STRIP WITH A SLIP RESISTANCE CLASSIFICATION NOT LESS THAN P3 IN DRY CONDITIONS AND P4 IN WET CONDITIONS IN ACCORDANCE WITH N.C.C. 2022 WHEN TESTED WITH AS 4586.

STAIRCASE / BALUSTRADE NOTES

1. STAIRWAY CONSTRUCTION TO COMPLY WITH N.C.C 2022
 - A. TREAD SIZES (OTHER THAN FOR SPIRAL STAIRS) MUST ACHIEVE A SLOPE RELATIONSHIP QUANTITY (2R+G)=700MAX. AND 550MIN.
 - B. RISERS (R) TO BE 1.15MM MIN. AND 190MM MAX. AND MUST NOT ALLOW A 125MM SPHERE TO PASS THROUGH BETWEEN THE TREADS.
 - C. GOINGS (G) TO BE 240MM MIN. AND 355MM MAX.
 - D. EACH FLIGHT OF STAIRS MUST HAVE NO MORE THAN 18 RISERS AND NO LESS THAN 2 RISERS, STAIRS MUST NOT HAVE MORE THAN 3 WINDERS IN LIEU OF EACH QUARTER LANDING OR 6 WINDERS IN LIEU OF EACH HALF LANDING.
2. ALL TREADS, LANDINGS AND THE LIKE TO HAVE NON SLIP FINISH OR SUITABLE NON-SKID STRIP NEAR EDGE OF NOSING TO COMPLY WITH AS.4586 AND N.C.C 2022
3. LANDINGS MUST NOT BE LESS THAN 750MM LONG, BE GUIDED WHERE THE THRESHOLD SILL OF A DOORWAY OPENS ONTO STAIR THAT PROVIDES A CHANGE IN LEVEL GREATER THAN 3 RISERS OR 570MM. THE LANDING MUST EXTEND ACROSS THE FULL WIDTH OF THE DOORWAY TO COMPLY WITH N.C.C. 2022
4. BALUSTRADES AND HANDRAILS TO COMPLY WITH N.CC. 2022
 - A. THE BALUSTRADE HEIGHT MUST NOT BE LESS THAN 865MM ABOVE THE TREAD NOSINGS AND 1000MM ABOVE ACCESS PATHS, BALCONIES, LANDINGS AND THE LIKE.
 - B. OPENINGS IN BALUSTRADE OR OTHER BARRIERS MUST BE CONSTRUCTED SO THAT THEY DO NOT PERMIT A 125MM SPHERE TO PASS THROUGH IT.
 - C. ANY HORIZONTAL ELEMENT WITHIN THE BALUSTRADE BETWEEN 150MM AND 760MM ABOVE THE FLOOR MUST NOT FACILITATE CLIMBING WHERE CHANGES IN LEVEL EXCEEDS 400MM ABOVE THE SURFACE BENEATH LANDINGS, RAMPS AND/OR TREADS.
 - D. WIRE BALUSTRADE TO COMPLY WITH N.C.C. 2022
 - E. GLASS BALUSTRADE TO COMPLY WITH AS | 288.
5. HEAD CLEARANCE TO STAIRS TO BE NOT LESS THAN 2000MM MEASURED VERTICALLY BETWEEN NOSING LINE AND CEILING LINE AND/OR ANY OBSTRUCTION.

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Client Details: Lawrence Gilbert Makoona & Marie Tracy Lo Shun Shing

DRAWING:
TYPICAL DETAIL

SCALE:
As indicated @A3

JOB NUMBER:
08206

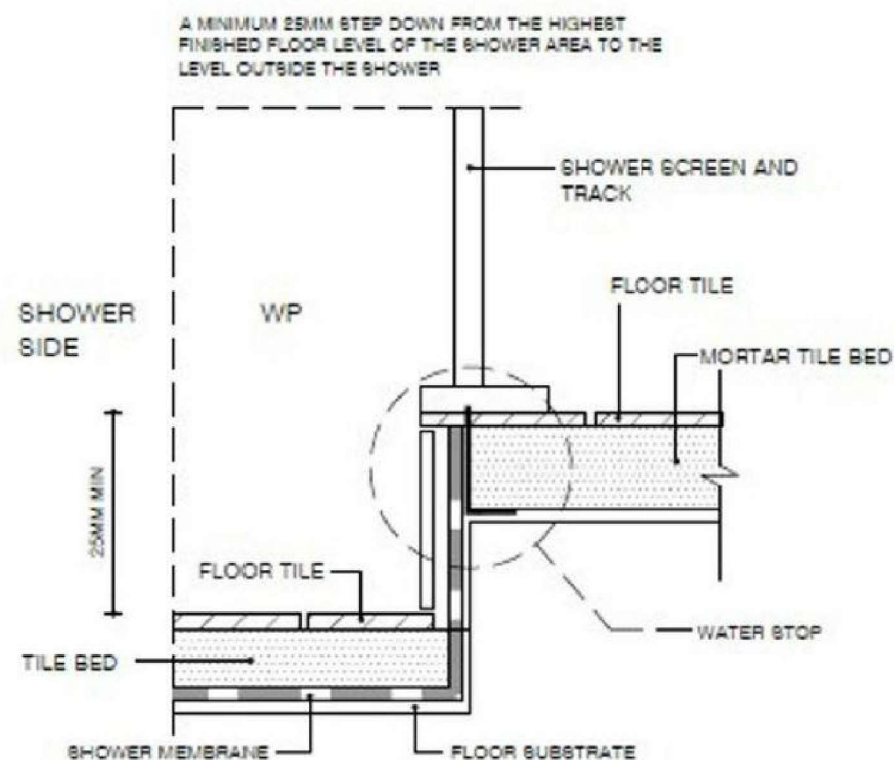
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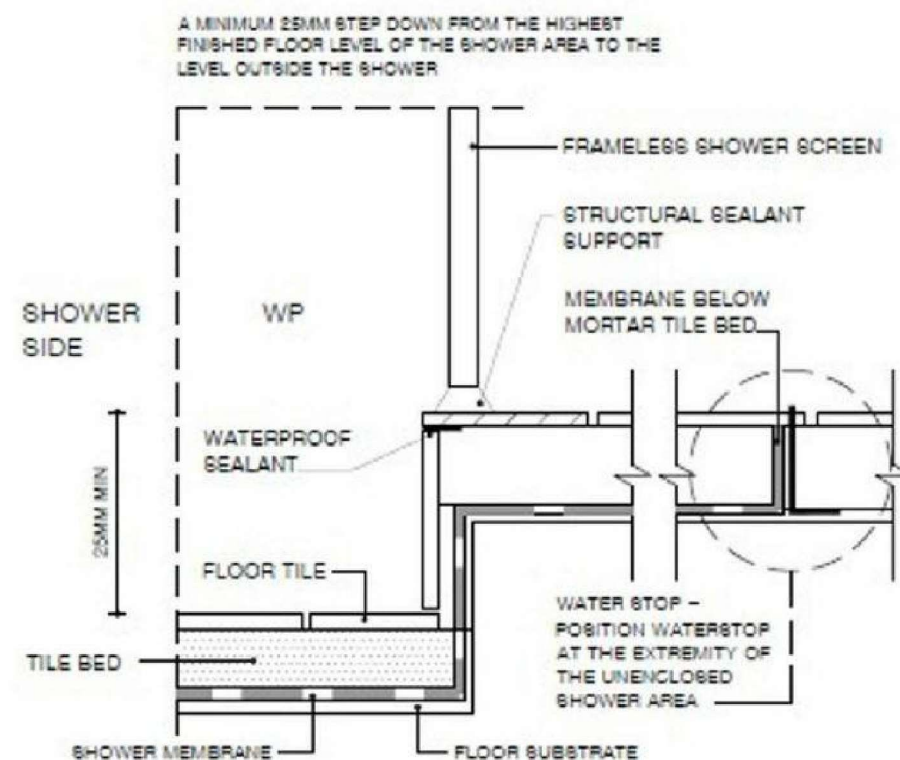
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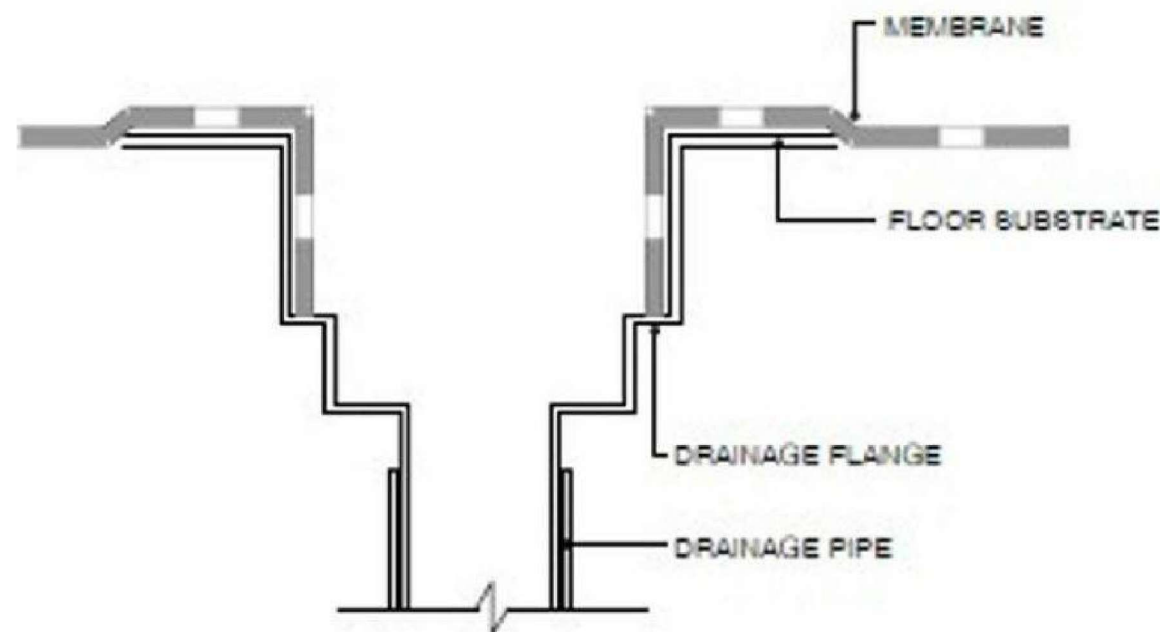
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**TYPICAL ENCLOSED
STEPDOWN SHOWER DETAIL**



**TYPICAL UNENCLOSED
STEPDOWN SHOWER DETAIL**



CLASS 1 BUILDING
CONCRETE - MAY SIT ON
TOP OF CONCRETE OR TILE
BED
OTHER FLOORS - RECESSED
INTO FLOOR SUBSTRATE OR
TILE BED

CLASS 2-9 BUILDINGS
- MUST BE RECESSED
INTO THE FLOOR

**FLOOR WASTE - TYPICAL MEMBRANE
TERMINATION AT DRAINAGE OUTLET**

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DRAWING:

TYPICAL DETAIL

SCALE:

1 : 1

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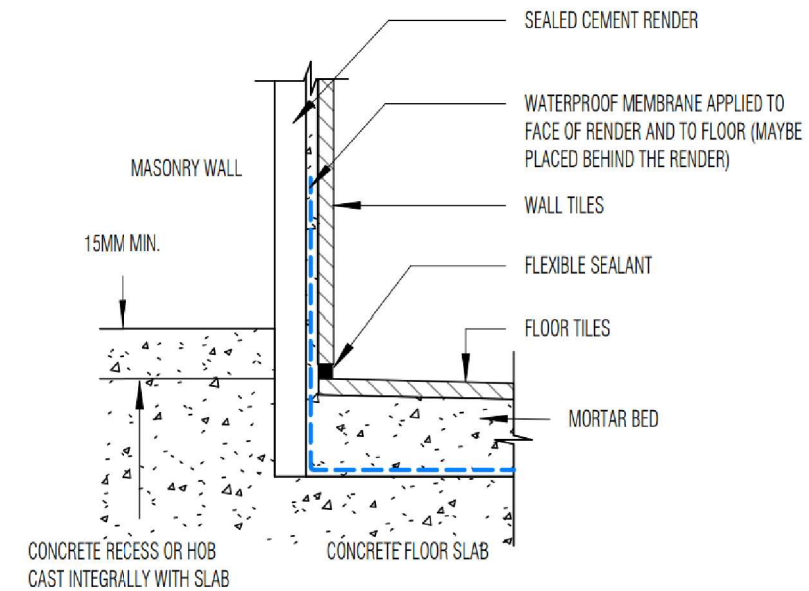
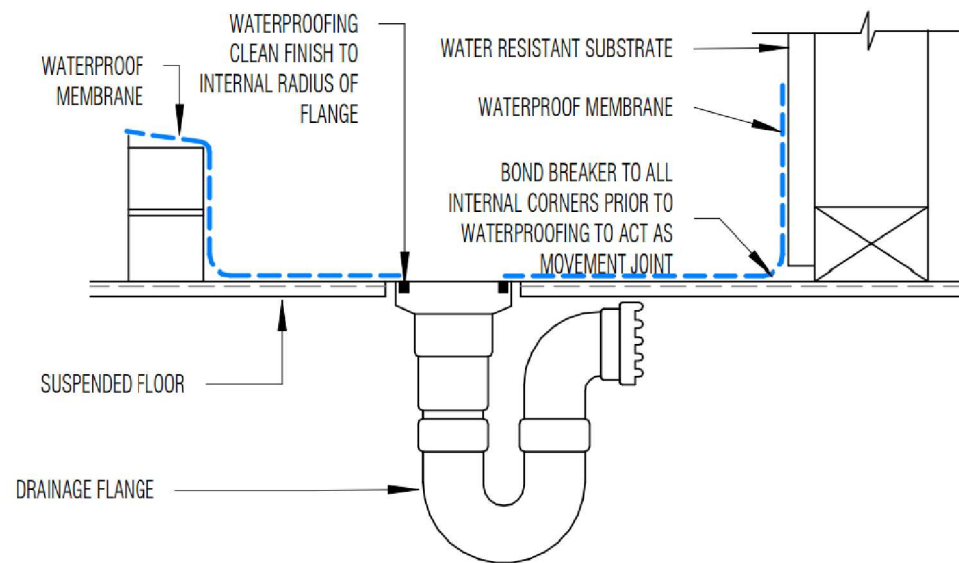
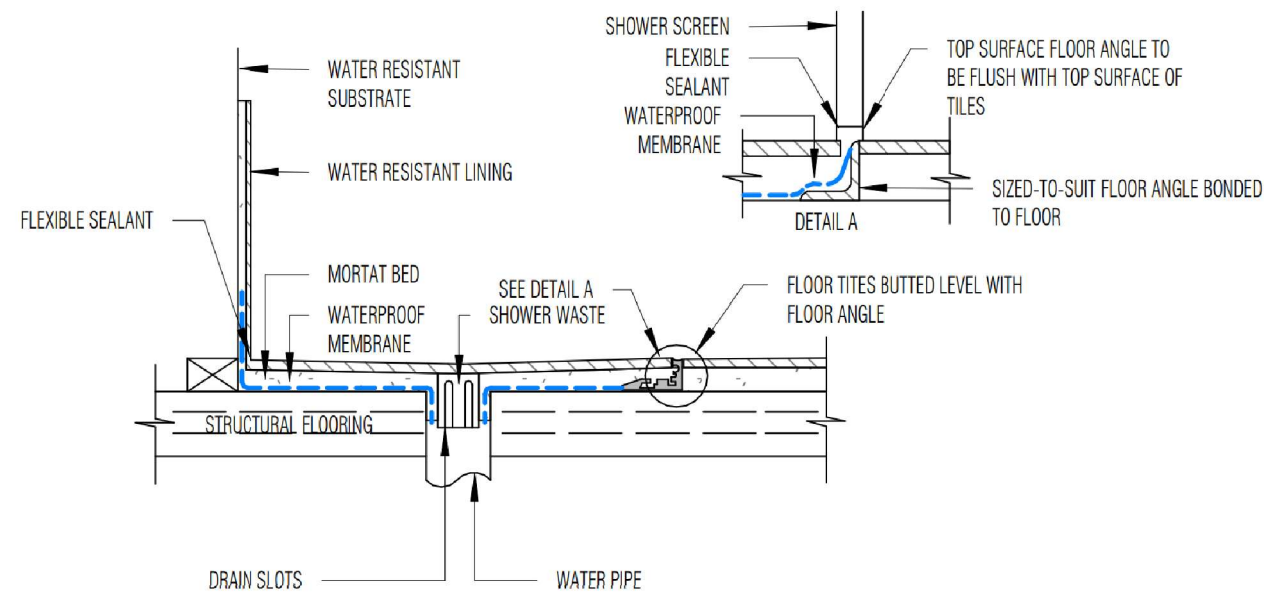
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PROVIDE WATERSTOP AT THE ENTRY OF ALL WET AREAS WHERE THERE IS CONTINUOUS FLOOR TILE ON THE FLOOR PLAN AS PER AS 3740

INSTALLATION DAMP-PROOF COURSES AND FLASHING TO COMPLY WITH NCC 2022.
A) 150MM ABOVE ADJACENT GROUND LEVEL OR
(B) 75MM ABOVE THE FINISHED SURFACE LEVEL ADJACENT PAVED, CONCRETED OR LANDSCAPE ARE A THAT
SLOPE AWAY FROM THE WALL OR
(C) 50MM ABOVE FINISHED PAVED, CONCRETE OR LANDSCAPED AREA
COMPLYING WITH 3.1.3.3(B)(II) OF THE
BCA AND PROTECTED FROM THE DIRECT EFFECTS OF THE WEATHER BY A
CARPORT, VERANDAH OR THE LIKE

TYPICAL INSTALLATION OF WATER PROOFING MEMBRANE TO SHOWER FLOOR

KIARA
DESIGNS

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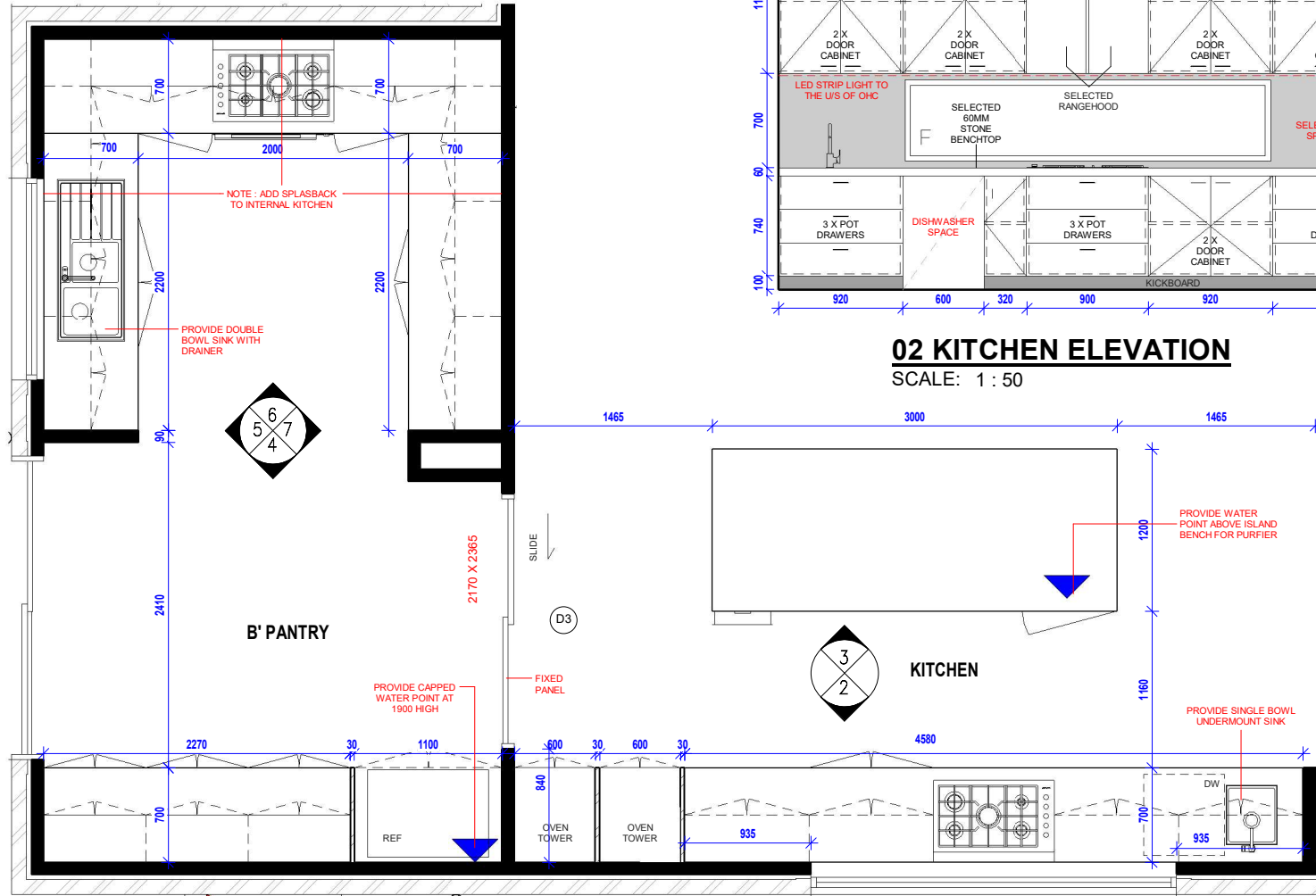
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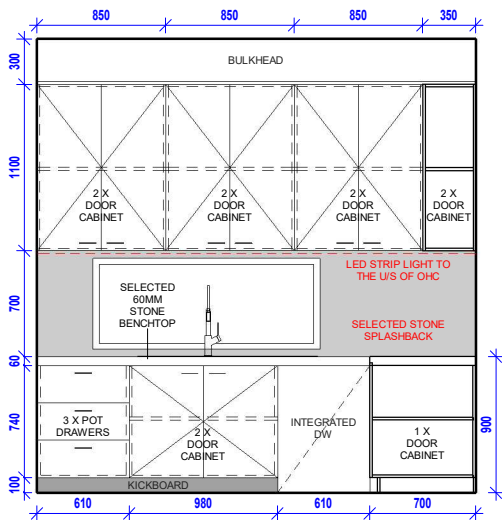
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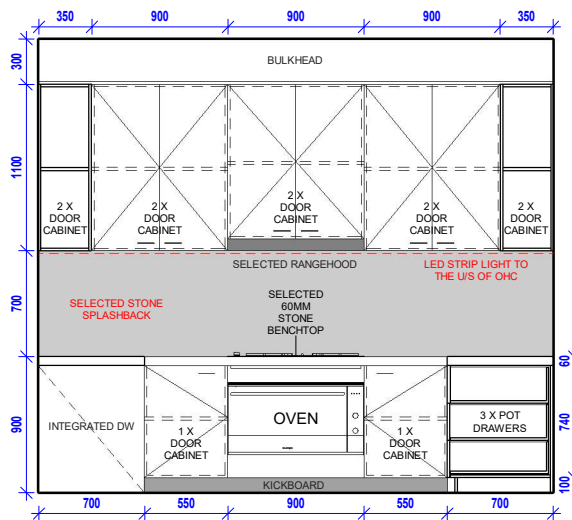
FOR
CONSTRUCTION



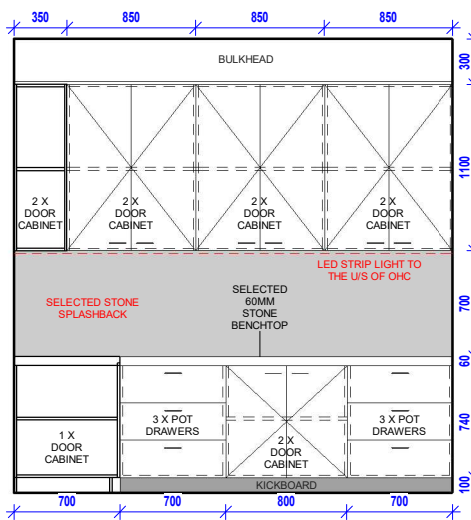
01 KITCHEN & B'PTRY PLAN
SCALE: 1 : 50



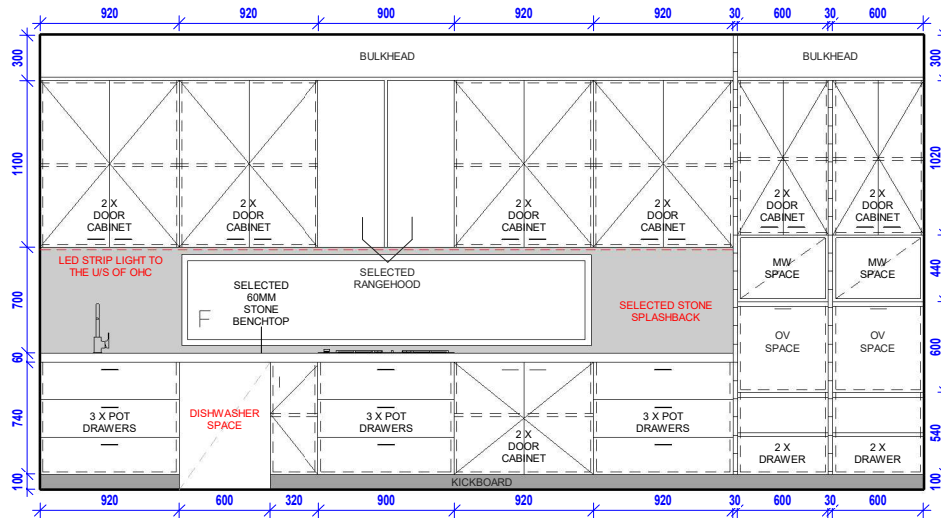
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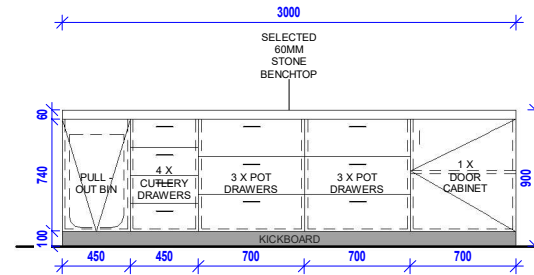
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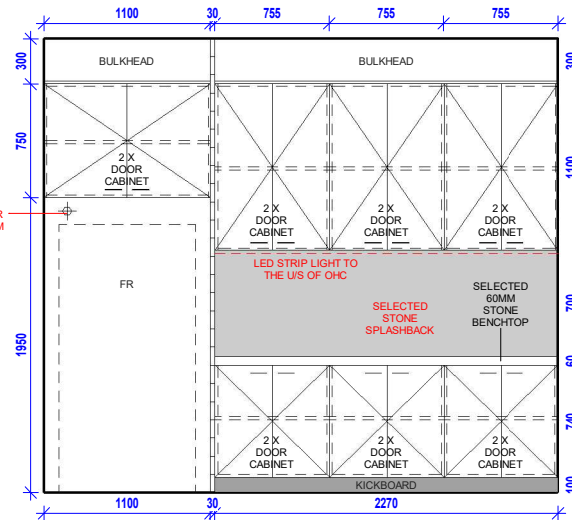
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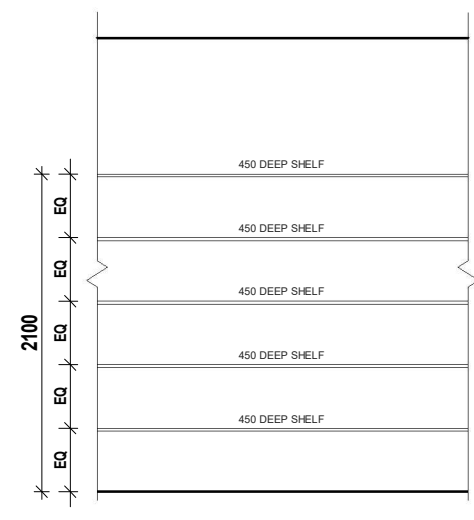
02 KITCHEN ELEVATION
SCALE: 1 : 50



03 KITCHEN ELEVATION
SCALE: 1 : 50



04 B'PTRY ELEVATION
SCALE: 1 : 50



TYPICAL LINEN ELEVATION
SCALE: 1 : 50

NOTES / COMMENTS BY BUILDERS

INTERNAL JOINERY NOTES:

- JOINER MUST VERIFY ALL DIMENSIONS ON SITE PRIOR TO THE COMMENCEMENT OF ANY SHOP DRAWINGS, ORDERING OF MATERIALS , CONSTRUCTION OR FABRICATION WORK WHATSOEVER.

- JOINER MUST CHECK THAT SITE CONDITIONS ARE APPROPRIATE FOR INSTALLATION, INCLUDING ACCESSWAYS, DOORWAY WIDTHS ETC, PRIOR TO THE COMMENCEMENT OF ANY SHOP DRAWINGS, ORDERING OF MATERIALS , CONSTRUCTION OR FABRICATION WORK WHATSOEVER.

- JOINER MUST ALLOW TO PROVIDE CUT-OUTS AS REQUIRED FOR PIER AND DATA OUTLETS, FITTINGS AND FIXTURES.

- ALL JOINERY TO BE MANUFACTURED FROM 16mm M.D.F BOARD WITH SELECTED FINISH. PROVIDE H.M.R M.D.F BOARD IN AREAS OF MOISTURE EXPOSURE.

- ALL JOINTS MUST BE BISCUIT JOINTED OR DOWELLED, SCREWED AND GLUED UNLESS NOTED OTHERWISE.

- EXTENSIVE SUB-STRUCTURE SUPPORT TO BE PROVIDED WITH FURNITURE GRADE K.D.H.W, UNLESS NOTED OTHERWISE.

- CARPENTER / BUILDER SHALL PROVIDE ALL NECESSARY NOGGINS, STRONGBACKS, ADDITIONAL STUDS IN THE HOUSE FRAME TO SUPPORT; EQUIPMENT, JOINERY (eg. OVERHEAD CABINETS, CANTILEVERED VANITY UNITS ETC.) ALL IN ACCORDANCE WITH THE JOINERY PLANS AND REQUIREMENTS.

- ALL FIXTURE, FITTINGS, MECHANISMS, HARDWARE, HINGES AND SLIDES ETC. MUST BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.

- FINISH WITHIN INSIDE OF CABINET CARCASS TO BE 0.4mm THICK WHITE MELAMINE.

- ADJUSTABLE SHELVES TO BE 18mm THICK WHITE MELAMINE FINISH FOR WIDTHS UP TO 1000mm. SHELVES IN CABINETS WITH GLAZED DOORS OR OPEN SHELVING, SHALL BE SELECTED FINISH. ADJUSTABLE SHELF SUPPORTS TO BE PROVIDED AT 32mm VERTICAL CENTRES.

- ALL SIZES NOTES HERE-IN ARE NIMINAL ONLY AND ARE NOT TO BE USED FOR SHOP-DRAWINGS. CABINET SIZES ARE SUBJECT TO JOINER'S CHECK MEASURE AND SHOP DRAWINGS.

- STONE BENCHTOPS TO KITCHEN, W.C, BATHROOM & ENSUITE.

- 100MM SKIRTING TILES TO WET AREAS, INCL. W.C WALLS U.N.O.

- ALL INTERNAL DIMENSIONS & ELEVATIONS DRAWN TO STUD AND MAY VARY ON SITE. CONTRACTORS TO VERIFY DIMENSIONS PRIOR TO COMMENCING ANY WORK.

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DRAWING:

INTERNAL ELEVATIONS

SCALE:

As indicated

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@A3

DATE:

17/05/2025



DRAWING NUMBER:

A8000

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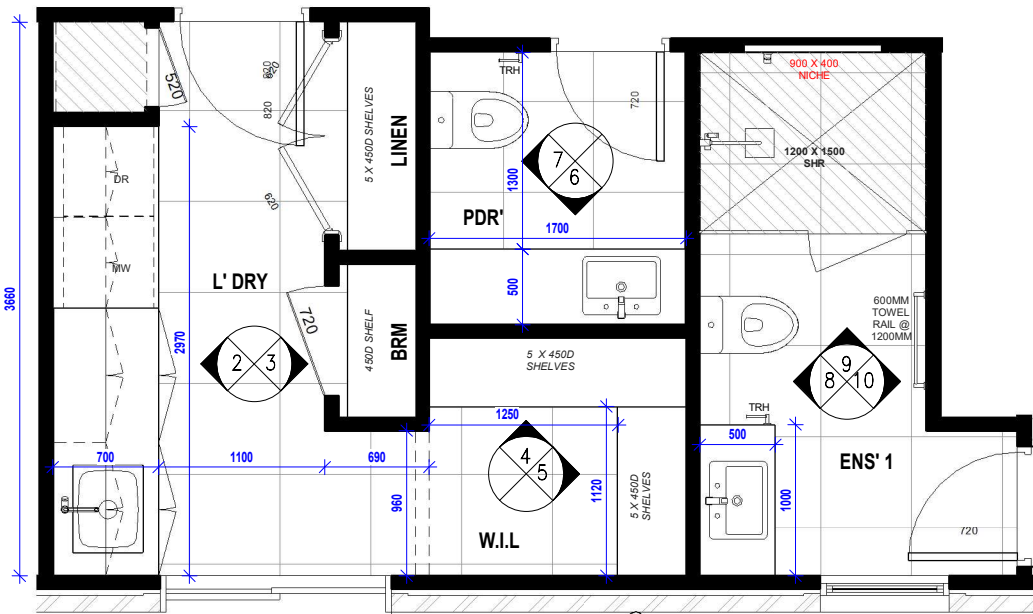
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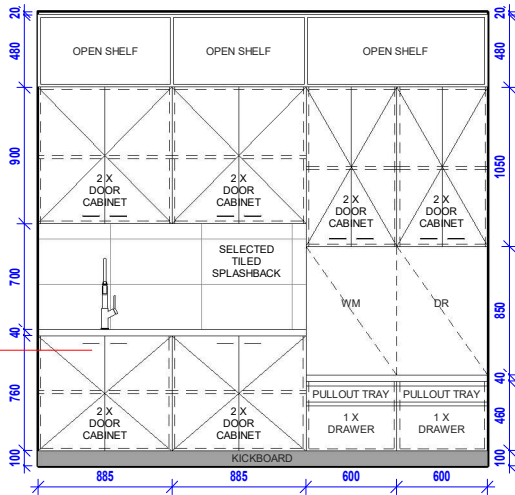
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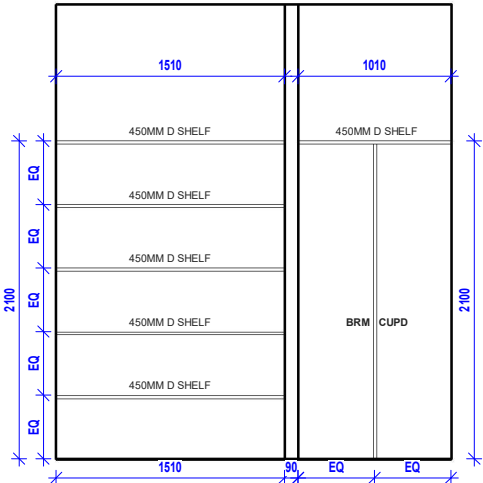
FOR
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01 L'DRY, BRM, LINEN & PDR PLAN
SCALE: 1 : 50



02 L'DRY ELEVATION
SCALE: 1 : 50

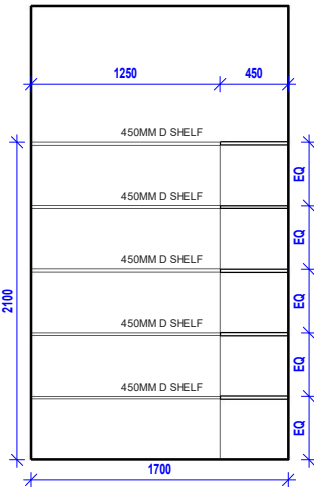


03 BRM & LINEN ELEVATION
SCALE: 1 : 50

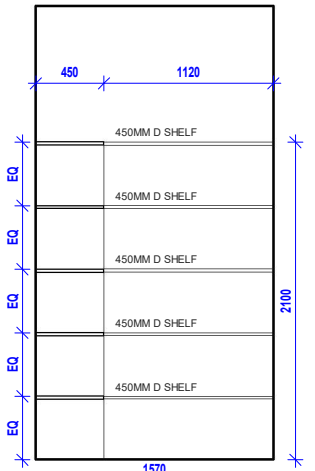
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BY BUILDERS

INTERNAL JOINERY NOTES:

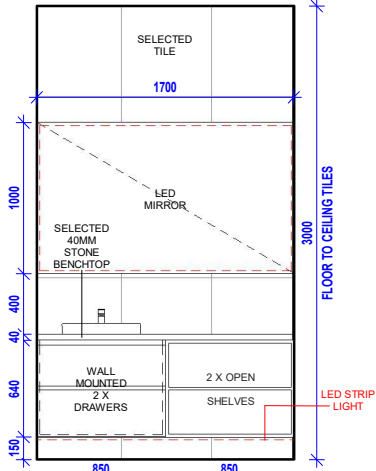
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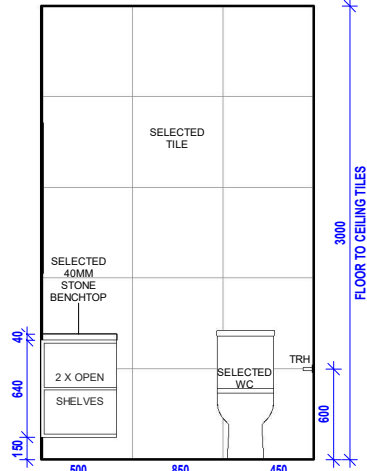
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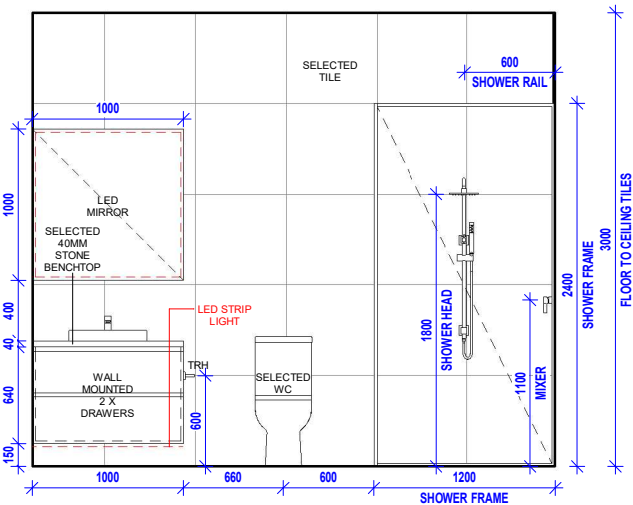
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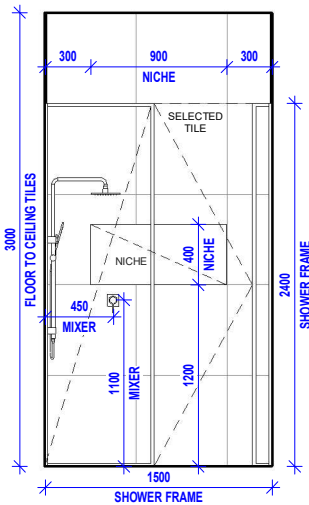
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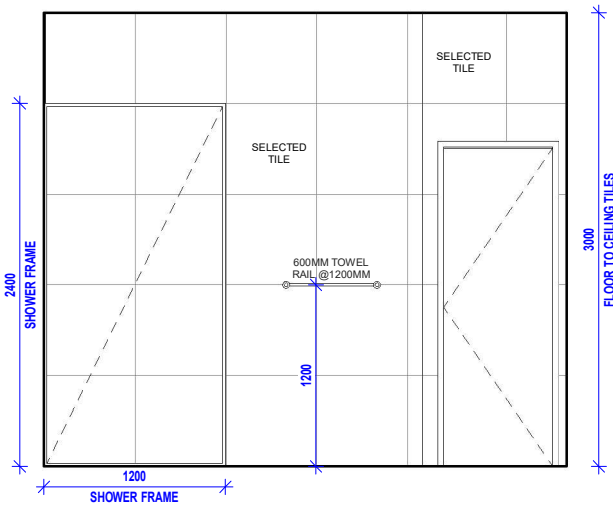
07 PDR ELEVATION
SCALE: 1 : 50



08 ENS1 ELEVATION
SCALE: 1 : 50



09 ENS1 ELEVATION
SCALE: 1 : 50



10 ENS1 ELEVATION
SCALE: 1 : 50

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Lot 6507, BONNIEBROOK ROAD, BONNIEBROOK, VIC 3335

Client Details:

Lawrence Gilbert Makoona & Marie Tracy Lo Shun Shing

DRAWING:

INTERNAL ELEVATIONS

SCALE:

As indicated

JOB NUMBER:

08206

@A3

DATE:

17/05/2025



DRAWING NUMBER:

A8001

CHECKED BY:

AR

DRAWN BY:

RS

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FOR
CONSTRUCTION

NOTES / COMMENTS
BY BUILDERS

INTERNAL JOINERY NOTES:

- JOINER MUST VERIFY ALL DIMENSIONS ON SITE PRIOR TO THE COMMENCEMENT OF ANY SHOP DRAWINGS, ORDERING OF MATERIALS, CONSTRUCTION OR FABRICATION WORK WHATSOEVER.

- JOINER MUST CHECK THAT SITE CONDITIONS ARE APPROPRIATE FOR INSTALLATION, INCLUDING ACCESSWAYS, DOORWAY WIDTHS ETC, PRIOR TO THE COMMENCEMENT OF ANY SHOP DRAWINGS, ORDERING OF MATERIALS, CONSTRUCTION OR FABRICATION WORK WHATSOEVER.

- JOINER MUST ALLOW TO PROVIDE CUT-OUTS AS REQUIRED FOR PIER AND DATA OUTLETS, FITTINGS AND FIXTURES.

- ALL JOINERY TO BE MANUFACTURED FROM 16mm M.D.F BOARD WITH SELECTED FINISH. PROVIDE H.M.R M.D.F BOARD IN AREAS OF MOISTURE EXPOSURE.

- ALL JOINTS MUST BE BISCUIT JOINED OR DOWELLED, SCREWED AND GLUED UNLESS NOTED OTHERWISE.

- ALL FIXING TO BE CONCEALED UNLESS NOTED OTHERWISE.

- EXTENSIVE SUB-STRUCTURE SUPPORT TO BE PROVIDED WITH FURNITURE GRADE K.D.H.W, UNLESS NOTED OTHERWISE.

- CARPENTER / BUILDER SHALL PROVIDE ALL NECESSARY NOGGINS, STRONGBACKS, ADDITIONAL STUDS IN THE HOUSE FRAME TO SUPPORT; EQUIPMENT, JOINERY (eg. OVERHEAD CABINETS, CANTILEVERED VANITY UNITS ETC.) ALL IN ACCORDANCE WITH THE JOINERY PLANS AND REQUIREMENTS.

- ALL FIXTURE, FITTINGS, MECHANISMS, HARDWARE, HINGES AND SLIDES ETC. MUST BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.

- FINISH WITHIN INSIDE OF CABINET CARCASS TO BE 0.4mm THICK WHITE MELAMINE.

- ADJUSTABLE SHELVES TO BE 18mm THICK WHITE MELAMINE FINISH FOR WIDTHS UP TO 1000mm. SHELVES IN CABINETS WITH GLAZED DOORS OR OPEN SHELVING, SHALL BE SELECTED FINISH. ADJUSTABLE SHELF SUPPORTS TO BE PROVIDED AT 32mm VERTICAL CENTRES.

- ALL SIZES NOTES HERE-IN ARE NIMINAL ONLY AND ARE NOT TO BE USED FOR SHOP-DRAWINGS. CABINET SIZES ARE SUBJECT TO JOINER'S CHECK MEASURE AND SHOP DRAWINGS.

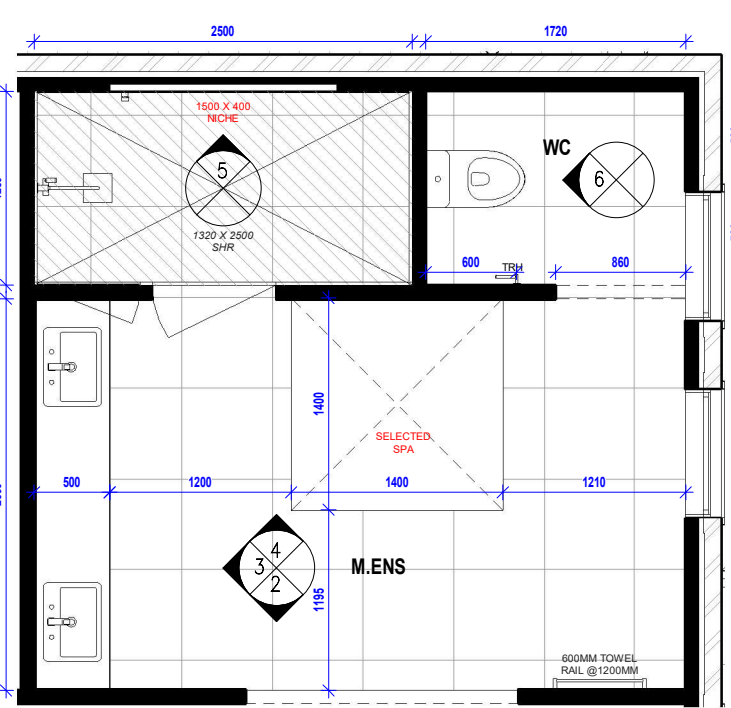
- STONE BENCHTOPS TO KITCHEN, W.C, BATHROOM & ENSUITE.

- 100MM SKIRTING TILES TO WET AREAS, INCL. W.C WALLS U.N.O.

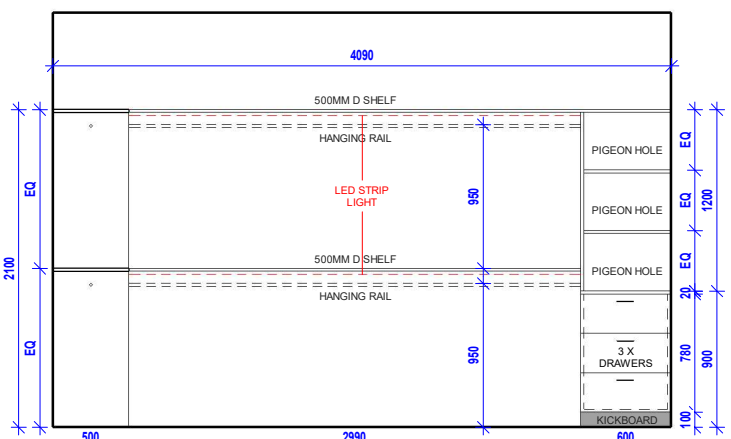
- ALL INTERNAL DIMENSIONS & ELEVATIONS DRAWN TO STUD AND MAY VARY ON SITE. CONTRACTORS TO VERIFY DIMENSIONS PRIOR TO COMMENCING ANY WORK.

- ALL TILING HEIGHTS SUBJECT TO TILE SELECTION, TO BE CONFIRMED ON SITE.

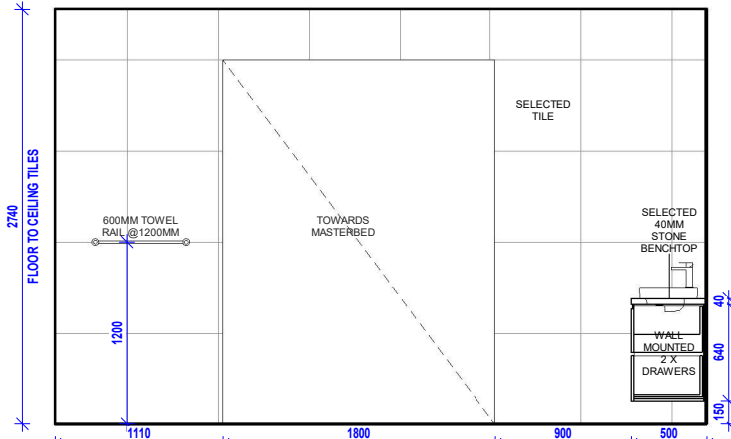
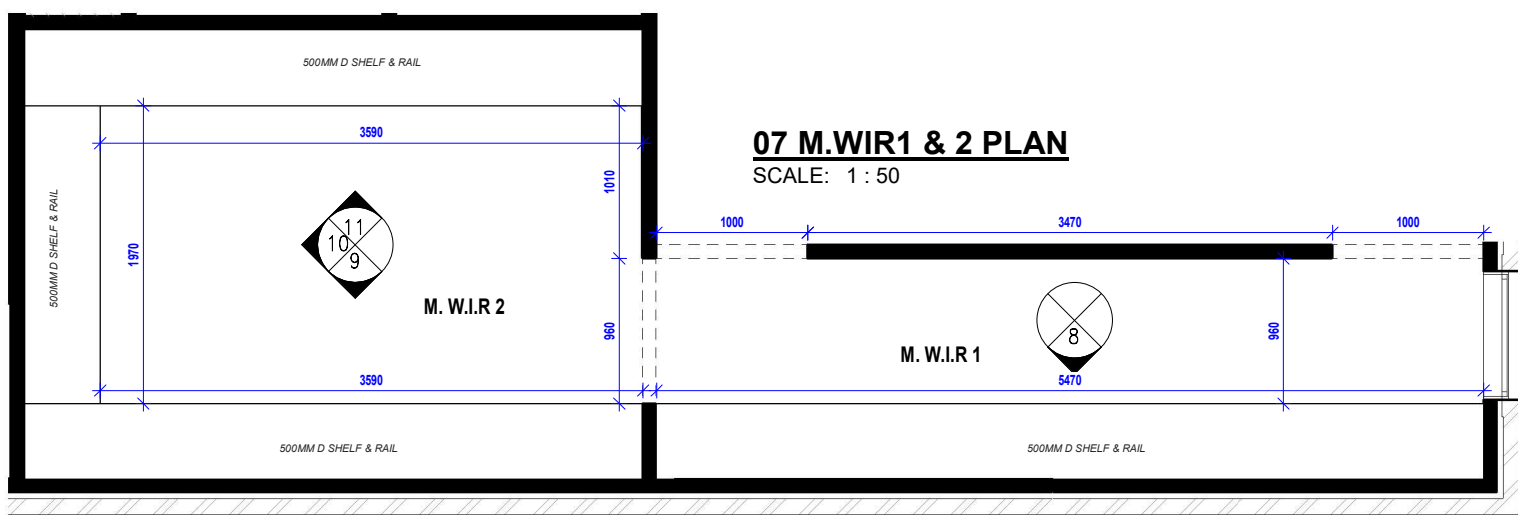
- DESIGN AND THE POSITION OF DOOR AND DRAWER HANDLES IS INDICATIVE ONLY & USED TO REPRESENT HINGE-SIDE DOORS.



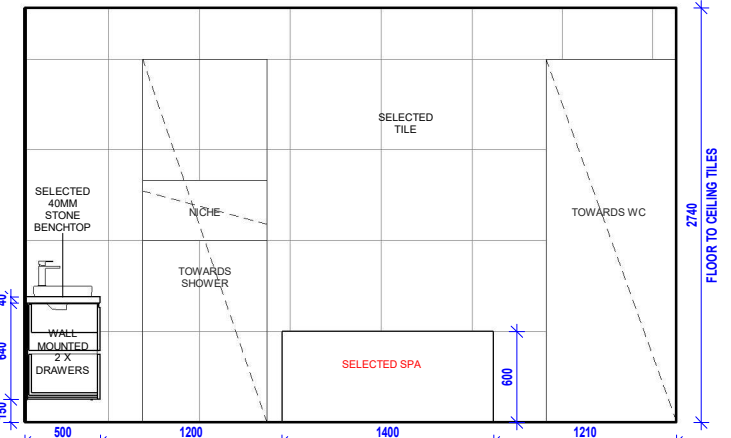
01 M.ENS PLAN
SCALE: 1 : 50



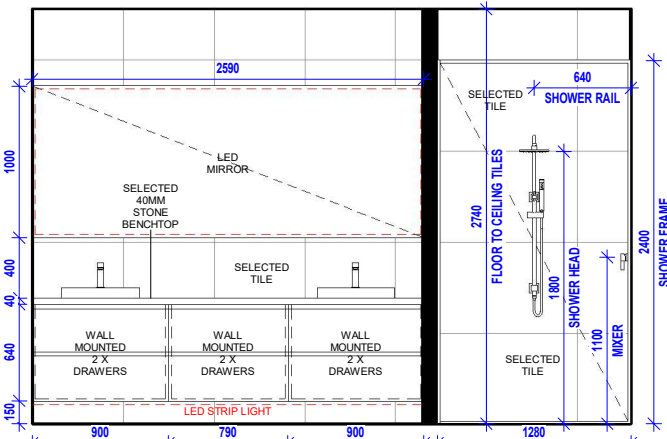
11 M.WIR2 ELEVATION
SCALE: 1 : 50



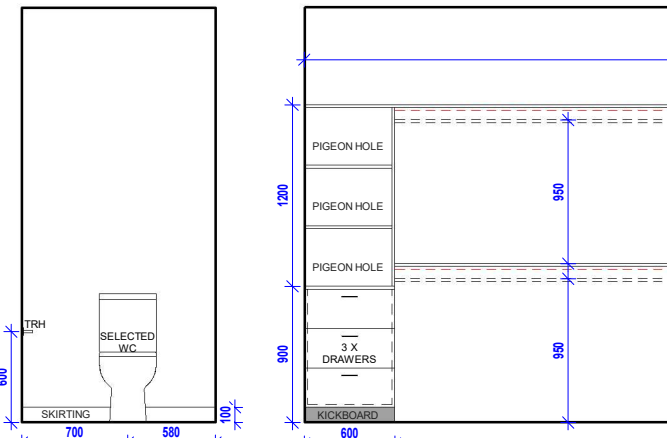
02 M.ENS ELEVATION
SCALE: 1 : 50



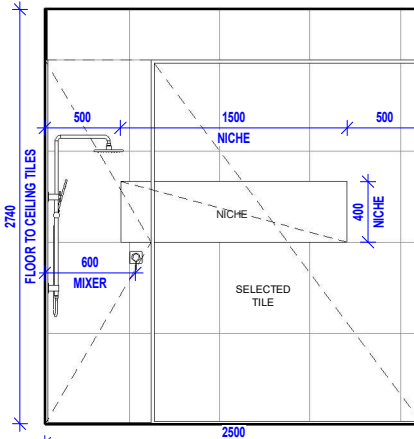
04 M.ENS ELEVATION
SCALE: 1 : 50



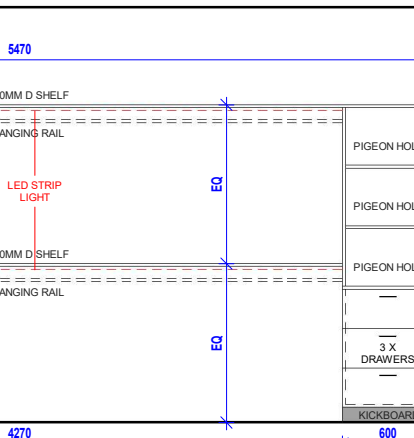
03 M.ENS ELEVATION
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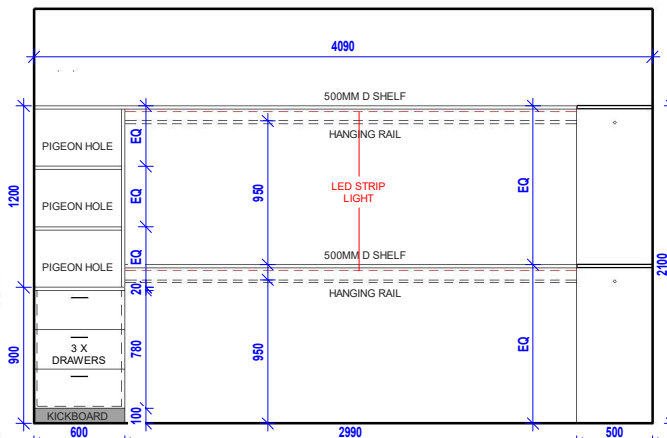
06 M.ENS ELEVATION
SCALE: 1 : 50



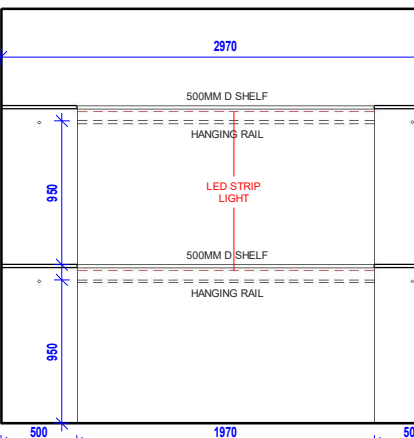
05 M.ENS ELEVATION
SCALE: 1 : 50



08 M.WIR1 ELEVATION
SCALE: 1 : 50



09 M.WIR2 ELEVATION
SCALE: 1 : 50



10 M.WIR2 ELEVATION
SCALE: 1 : 50

KIARA
DESIGNS

NO:	DESCRIPTION	DATE
1	PRELIMINARY	14/11/2024
2	PRELIMINARY - R2	25/02/2025
3	PRELIMINARY - R3	27/02/2025
4	DEVELOPER APPROVAL	28/03/2025
5	DEVELOPER APPROVAL - R2	21/04/2025
6	DEVELOPER APPROVAL - R3	02/05/2025
7	FOR CONSTRUCTION	17/05/2025

CLIENT SIGN OFF:

I / WE CONFIRM THAT THESE DRAWINGS ACCORD WITH OUR REQUIREMENTS AND AUTHORISE THEIR USE FOR NEXT STAGE PURPOSES.

SIGNED.....DATE.....

SIGNED.....DATE.....

PROJECT:

PROPOSED NEW RESIDENCE

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17/05/2025



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CHECKED BY:

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DRAWN BY:

RS

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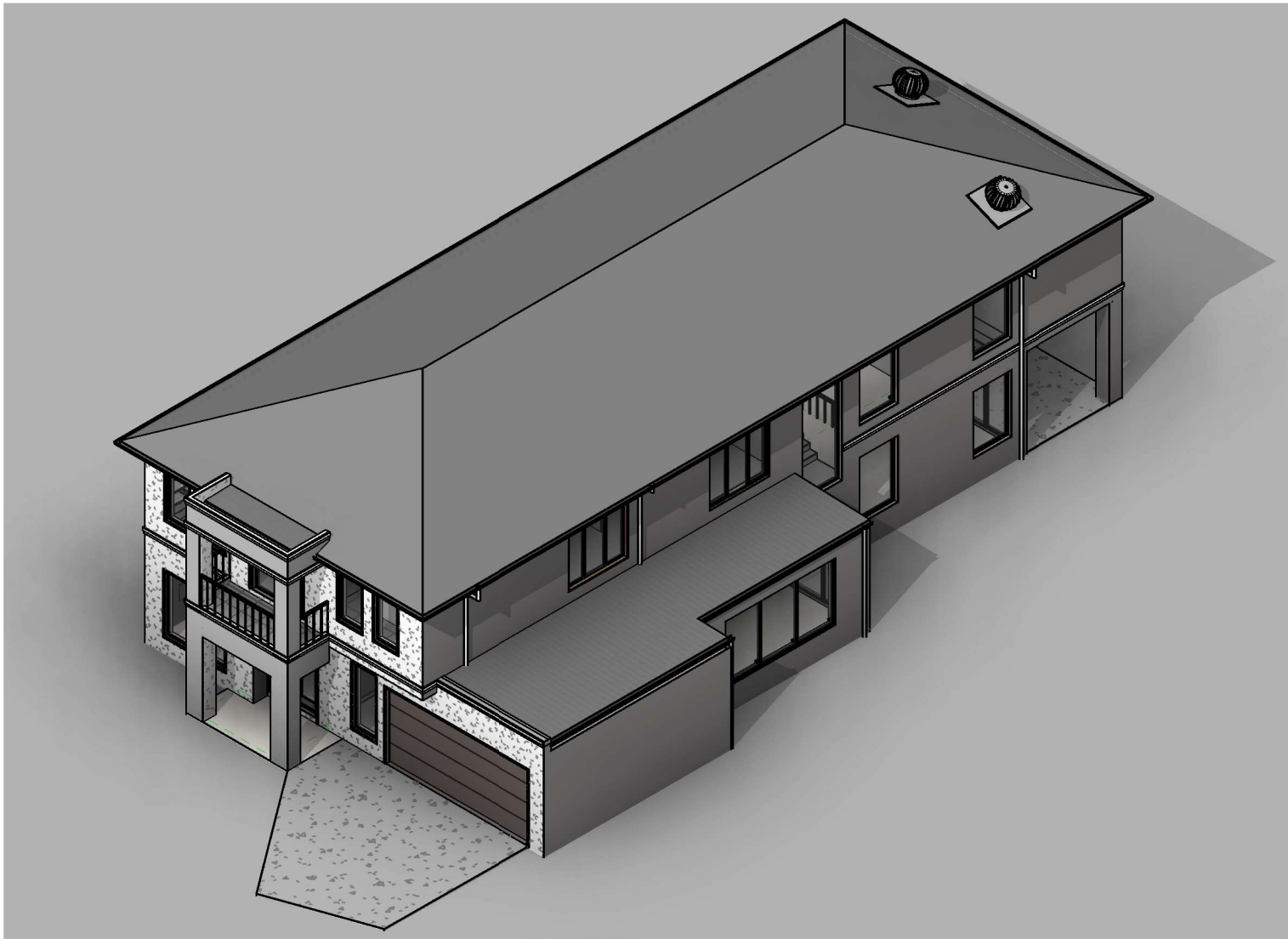
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CONSTRUCTION

- DESIGN AND THE POSITION OF DOOR AND DRAWER HANDLES IS INDICATIVE ONLY & USED TO REPRESENT HINGE-SIDE DOORS.

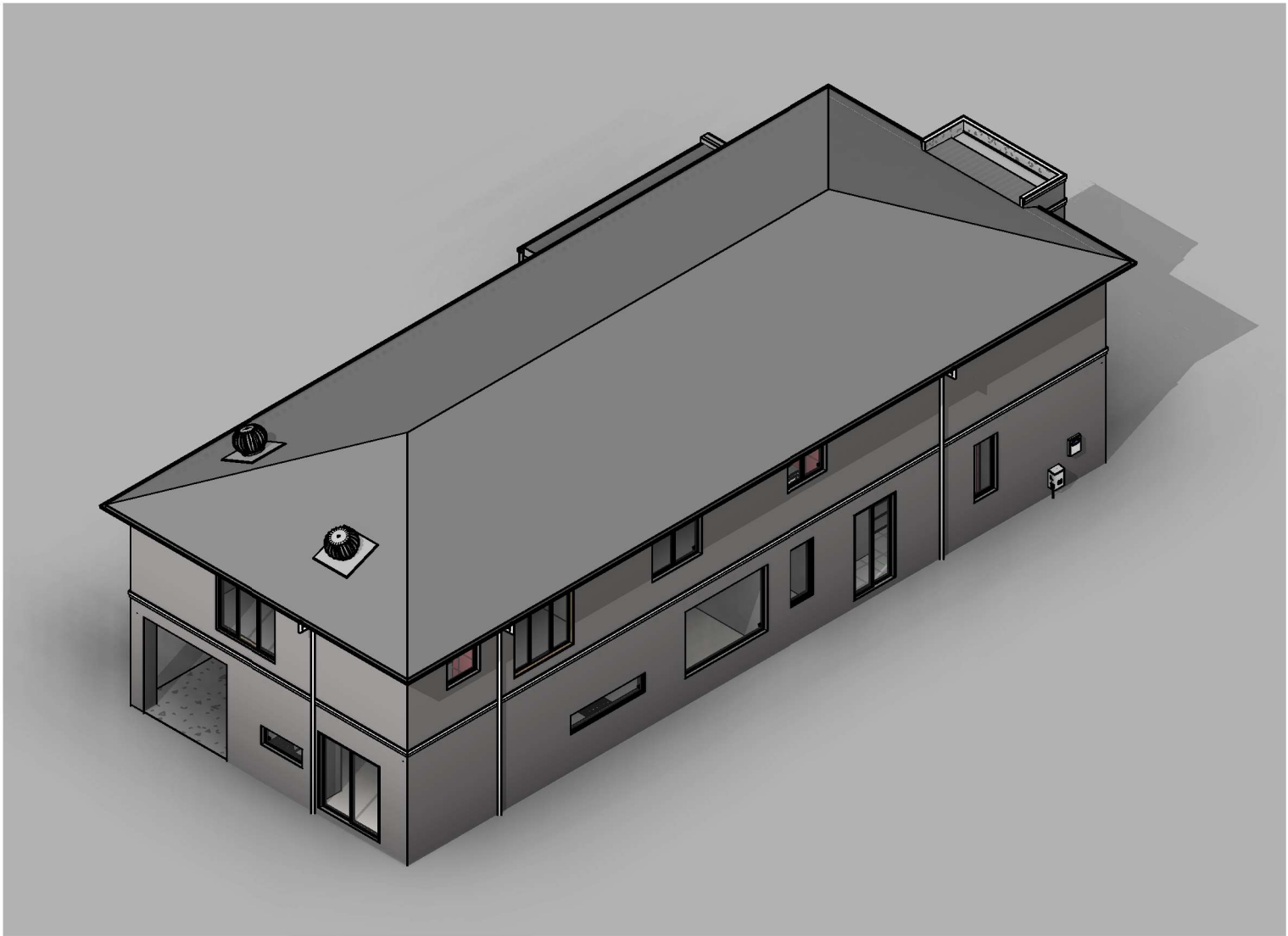
12 WIR5 ELEVATION

SCALE: 1 : 50

+ FOR
CONSTRUCTION



NORTH-EAST ELEVATION
SCALE:



SOUTH-WEST ELEVATION
SCALE:

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PROPOSED NEW RESIDENCE

ADDRESS:
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Client Details: Lawrence Gilbert Makoona & Marie
 Tracy Lo Shun Shing

DRAWING:
3D ELEVATIONS

SCALE:

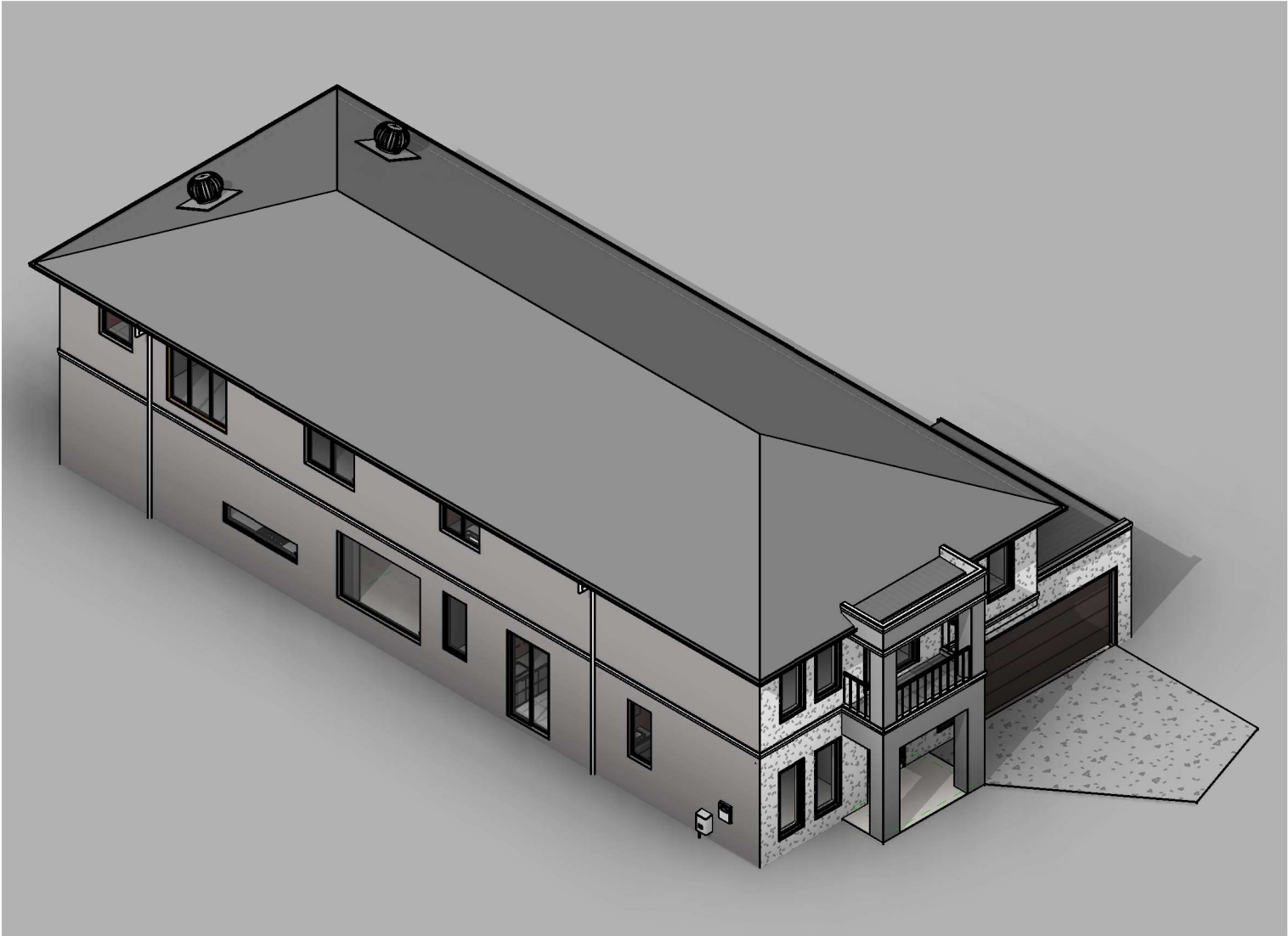
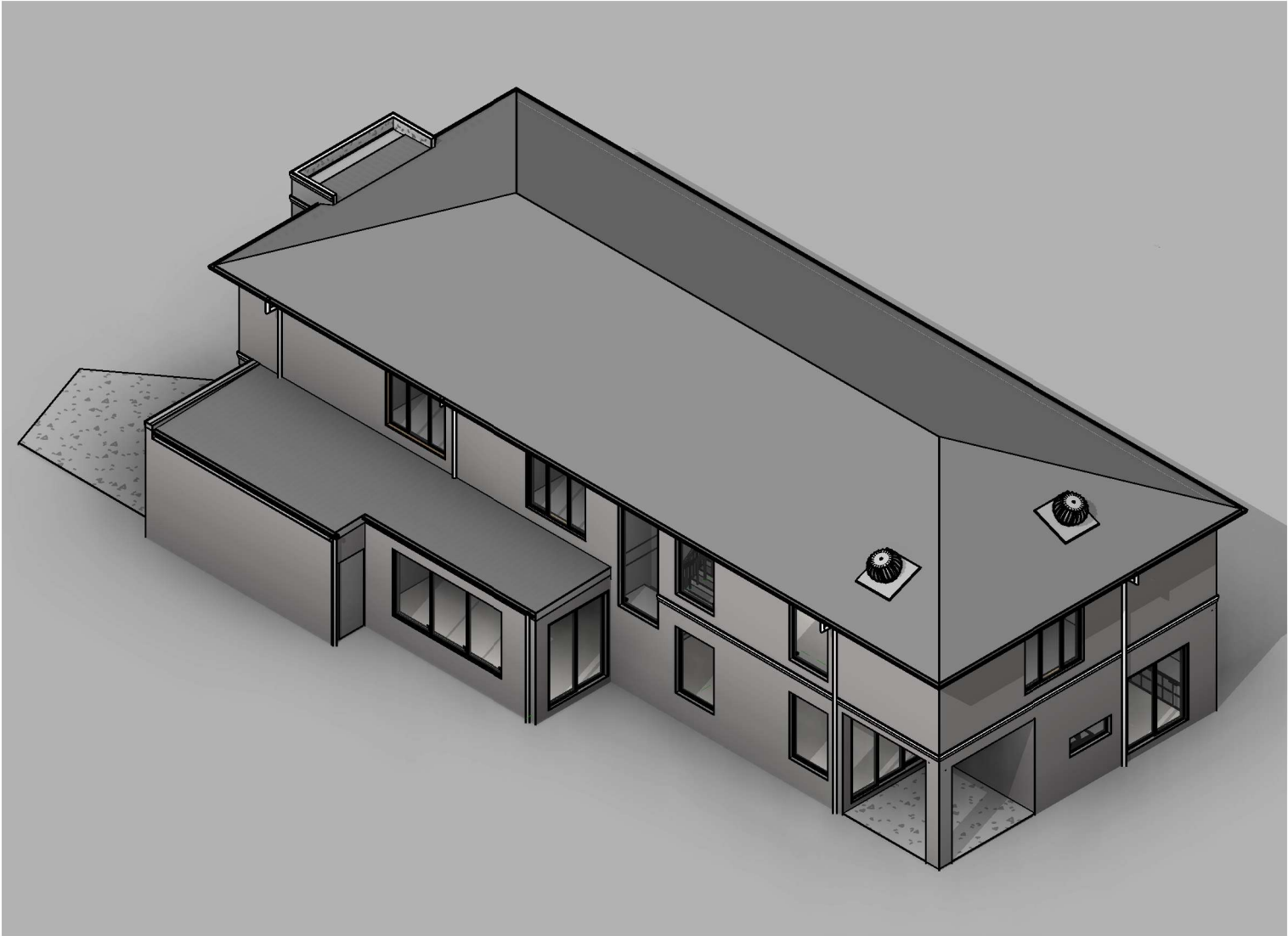
JOB NUMBER: @A3
08206 DATE:
 17/05/2025



DRAWING NUMBER:
A9000

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NORTH-WEST ELEVATION

SCALE:

SOUTH-EAST ELEVATION

SCALE:

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